



# Meeting Notice

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Please note that there will not be a 6:00 p.m. Newport Planning Commission work session meeting held prior to the regular 7:00 p.m. session on **Monday, February 23, 2015.**

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## **AGENDA & NOTICE OF PLANNING COMMISSION MEETING**

The Planning Commission of the City of Newport will hold a meeting at **7:00 p.m. Monday, February 23, 2015**, at the Newport City Hall, Council Chambers, 169 SW Coast Hwy., Newport, OR 97365. A copy of the meeting agenda follows.

The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired, or for other accommodations for persons with disabilities, should be made at least 48 hours in advance of the meeting to Peggy Hawker, City Recorder, 541-574-0613.

The City of Newport Planning Commission reserves the right to add or delete items as needed, change the order of the agenda, and discuss any other business deemed necessary at the time of the meeting.

### **NEWPORT PLANNING COMMISSION Monday, February 23, 2015, 7:00 p.m. AGENDA**

**A. Roll Call.**

**B. Approval of Minutes.**

1. Approval of the Planning Commission regular meeting minutes of February 9, 2015.

**C. Citizens/Public Comment.**

1. A Public Comment Roster is available immediately inside the Council Chambers. Anyone who would like to address the Planning Commission on any matter not on the agenda will be given the opportunity after signing the Roster. Each speaker should limit comments to three minutes. The normal disposition of these items will be at the next scheduled Planning Commission meeting.

**D. Consent Calendar.**

**E. Action Items.**

**F. Public Hearings.**

1. File No. 1-NB-15/1-CUP-15. Consideration of a request submitted by John Lee (John Lee, Denny Han, and Dale Johnson, authorized representatives) (Nye Hotel, LLC, property owner) for design review for a 10,375 sq. ft. addition that includes 16 new guest rooms, a lobby addition, laundry addition, and a new spa building at the Inn at Nye Beach (formerly the Greenstone Inn). The project requires design review because the building exceeds 35 feet in height (47 ft. 3 in. peak height) and a Conditional Use Permit because the structure's exterior dimension is over 100 feet in length (138 feet). The property is located at 729 NW Coast Street (Tax Map 11-11-05-CC, Tax Lot 5600).

**G. New Business.**

**H. Unfinished Business.**

**I. Director Comments.**

**J. Adjournment.**

**Draft MINUTES**  
**City of Newport Planning Commission**  
**Regular Session**  
**Newport City Hall Council Chambers**  
**Monday, February 9, 2015**

**Commissioners Present:** Jim Patrick, Rod Croteau, Mike Franklin, Lee Hardy, Bob Berman, Bill Branigan, and Gary East (arrived at 7:00 p.m.)

**City Staff Present:** Community Development Director (CDD) Derrick Tokos and Executive Assistant Wanda Haney.

A. **Roll Call:** Patrick called the meeting to order in the City Hall Council Chambers at 6:00 p.m. On roll call, Hardy, Berman, Croteau, Patrick, Franklin, and Branigan were present. East joined the meeting at 7:00 p.m.

B. **Approval of Minutes.**

1. Approval of the Planning Commission regular session meeting minutes of January 26, 2015.

**MOTION** was made by Commissioner Croteau, seconded by Commissioner Hardy, to approve the Planning Commission meeting minutes of January 26, 2015, as presented. The motion carried unanimously in a voice vote.

C. **Citizen/Public Comment.** No public comment.

D. **Consent Calendar.** Nothing on the Consent Calendar.

E. **Action Items.** No items requiring action.

F. **Public Hearings.**

1. **Continued Hearing on File No. 2-MRP-14-A.** Appeal of the Community Development Director's decision of approval for File No. 2-MRP-14, a minor replat of portions of Lots 1 and 4, Block 1, Nye & Thompson Addition as submitted by Bret Fox challenging Condition of Approval No. 2, which requires widening and reconfiguring of the property's access to SW 2nd Street, removing and re-vegetating an "abandoned" portion of the 2nd Street right-of-way, and replacing the sidewalks along the property's Olive Street and 2nd Street frontages. The Planning Commission opened the public hearing on this matter on January 26, 2015, and, at the request of the appellant, continued the hearing to tonight.

Patrick continued the public hearing for File No. 2-MRP-14-A at 6:02 p.m. by reading the statement of rights and relevance. He asked the Commissioners for declarations of conflicts of interest, ex parte contact, bias, or site visits. Nothing was declared. He called for objections to any of the Commissioners or the Commission as a whole hearing this matter; and none were heard. Patrick read the summary from the agenda and called for the staff report. Tokos noted that included in the packet was a letter of February 5, 2015, from Perkins Coie, the law firm representing the applicant, Mr. Fox, asking that the hearing be set over to May 19th and granting an extension of the 120-day decision deadline. They intend to address issues independent of completing the minor replat; but they don't want to forego the opportunity to continue to pursue this appeal if another avenue doesn't work. That is why they are asking to set it aside for a period of time. Tokos indicated to them that he saw no concerns amongst the Commission and advised them that they didn't have to have their legal counsel drive over here tonight.

Patrick asked if there are any utilities in the abandoned part of the street. Tokos said that would get ferreted out if and when they apply for a vacation of the right-of-way, which is something they indicated they may want to do. The question is if the right-of-way is vacated, to whom does it accrue? It may be that all of it accrues to Fox; or a portion may go to the property owner on the south, which is the State of Oregon. They need to work on that; but it's not a big priority of theirs. They may see if they can do a property line adjustment. They will have to see if the two pieces of land that are portions of previously platted lots are legal for a property line adjustment. With land divisions way back when you used to be able to divide by deeds. You would create meets and bounds and record that on a deed, and you

were good. In the 70s the State said no more of that. Any time you divide land, even if it's just in two, you have to do a legal survey. Fox's representatives are going back and doing a deed research to see what Fox purchased and whether they will qualify as legal parcels to do a property line adjustment.

**MOTION** was made by Branigan, seconded by Croteau, to continue the hearing on File No. 2-MRP-14-A to May 19<sup>th</sup> as requested and extend the 120-day deadline as they are granting. The motion carried unanimously in a voice vote.

**G. New Business.**

1. **2015 Goal Setting.** Tokos noted that he had included in the packet a summary document that he would go through and then leave it open for any ideas from the Planning Commission. The City Council is doing their annual goal setting on February 23<sup>rd</sup>. They are very much interested in the Commissioners' thoughts in terms of what some goals should be on the community development and the economic development side of things. In his memo, Tokos outlined what we accomplished in the last year and where the priorities are. He would like to hear what the Commissioners might want to put out there as priorities.

Tokos' memo starts off with a reminder for the City Council of what we do, which is a helpful refresher for them. Land use planning, building services, and Urban Renewal are the Community Development Department's functions. Next Tokos showed some building permit traffic, which picked up last fiscal year; and he doesn't see that trend changing. He fully expects in the coming year to be issuing possibly 30 single-family permits or in that ballpark. Wilder is coming in with additional phases. There will be some piecemeal on the north side until any new subdivisions come in. We've had an active conversation with the property up north that MerchBanc had. That's that large c-shaped piece they annexed in that sits back behind Szabo's, east of Long View Hills, and on up north to the east of 70<sup>th</sup> and 71<sup>st</sup>. There could be 280-some dwellings potentially. They came in and talked and are likely to start working on a Traffic Impact Analysis. We are running out of lots on the north side that are developable. The last of the subdivisions are starting to fill out. Kseniya's Ridge is built out. The subdivision behind the Intermediate School on Jeffries Court has mostly built out; the remaining lots are the toughest terrain-wise. There are not a lot of vacant lots on the north side. None of these phases are going to be big. The owner on that MerchBanc piece is talking about something modest; either on the north or south end, but not entirely built out. Wilder will have nine lots and multi-family, which there will be a number of. Tokos fully expects that 2015 will have something close to what we had this year. On the commercial side and the industrial side, it will be steady. OMSI's plans are in now; and those will be issued this calendar year. The hospital is trying to position themselves for a May bond measure for the hospital expansion. If that happens, 2016 would probably be the window for that. The institutional stuff is moving along at a pretty steady clip with one significant project each year. For commercial, Wilder has plans for a coffee shop; and Rogue Brewery is looking at a 40,000-square-foot expansion. We should have reasonable commercial expansion of either existing or new construction in 2015. Oceanview Retirement just submitted an application for annexation. They are moving along, so that construction could hit next year too. That was an expansion of 48 beds he believes. Oceanview did the UGB expansion where the City traded .06 of an acre out of our quarry for right-of-way. Tokos expects building permit activity in 2015 to be on par with what we had going.

Berman asked how Tokos' staffing level is. Tokos noted that he is still down a planner, which limits what we can do in many respects. We had the retirement of our part-time building official and retained the services of a full-time building official who can take on electric, plumbing, and mechanically presumably. We will have everything in-house and will only contract on larger commercial and specialty things, which will help on the building side with resources and time. Tokos is going to be putting in for the Senior Planner position to be filled; but he doesn't believe it will be approved because of the lack of resources on the City side. There are a lot of competing needs for the City resources. It may get filled if the north side Urban Renewal District gets approved. They will have to deal with it then because Tokos is not capable of taking on that on top of everything else. You need to actively manage an Urban Renewal District for it to be effective. The north side wasn't actively managed and drug on and on. There's no reason it should go for 40-50 years, and you shouldn't have 7 years of nothing when you're still taking the taxes but are not leveraging it for any purpose.

**Ongoing goals:** Tokos noted the first ongoing goal is to maintain and implement economic development strategies. We are working on getting a new Urban Renewal District, which is one way to go about doing that. He actively had his hands full with getting Phase 2 going with the subdivision plat and vacations. It takes time working with the



property owners. The property acquisition is still ongoing with the Schones family. The Phase 2 borrowing is happening next month. It is very active right now. Got all of the improvements in the design phase. We are looking at April 15<sup>th</sup> as the targeted bid date for infrastructure work that the City is responsible for; Abalone, 30<sup>th</sup>, pavement of Brant and sidewalk, 27<sup>th</sup> sidewalk, Safe Haven Hill, the multi-use path, and the Ferry Slip road things. Also, we did the student housing study. Assuming that it gets adopted by the City Council, Tokos expects picking up a conversation shortly with the County about getting a tax abatement program for multi-family development. Getting the abatement program going will hopefully be helpful in getting more rental inventory.

The second ongoing goal is to involve citizens in all aspects of planning. Tokos said we've done a fairly decent job in that if folks are interested in public involvement. It is important; but it is labor intensive. The more outreach we do, the more public comments we receive; and they expect responses. We have to be strategic. When we offer those public outreach opportunities, we have to make sure they are meaningful. We have to provide the staff level needed to make sure people are heard and responded to. Tokos has always said to offer more limited outreach and do well rather than too much and not get it right because then the public gets frustrated. We have several advisory committees. There's the Nye Beach Design Review ad hoc committee that's been active and should be wrapping up. There was the student housing study. Outreach was done on the property acquisitions. We also do town hall meetings where we do direct mailings to everyone in the area.

**Fiscal Year 2014-15 goals:** One is to incorporate Storm Drainage and Sewer Master Plans into the Comprehensive Plan. Tokos noted that we have limited resources, and Public Works is strapped too. This has been in the hands of the consultants, and the important technical work is done. It needs to be worked into policy documents for presentation to the Planning Commission and the City Council. Tokos expects that will happen next fiscal year.

Another goal for FY 14-15 is to coordinate with Public Works to initiate amendments to the Airport Master Plan. They just finished the RFP process, and Tokos went through that with Public Works. He expects them to select a consultant. The last update to the Airport Master Plan was done in 2004.

A third goal is to initiate substantial amendments to the SDC methodology to reflect projects from the Master Plan updates. Tokos noted that there is always talk about the SDC methodology annually. Property owner, Rob Hoeft, the candy store owner in South Beach, is concerned about his ability to be able to pay for a restaurant. Local Ocean paid these fees. It's not necessarily an impediment to economic development; but clearly is to smaller operators. Tokos just did a presentation to the City Council going through the SDC methodology. The last methodology was written in 2007, and since then the City has collected \$1.5 million. But it is volatile and hard to predict. A big chunk comes in on commercial and industrial; and we don't have a lot of those in a given year. For instance, the Teevin Bros. log yard, which would have been substantial, didn't materialize. One of the things Tokos discussed with the City Council is that to recognize that when we have a Stormwater Master Plan that we will have a new project list. With the Sewer Plan, we'll have new capital projects. With the 2012 TSP update, we didn't revisit the transportation methodology. Next fiscal year, we should take a look at the methodology to course correct in the capital project needs and growth projections. In the Water System Master Plan, by this time, our population was estimated to be 11,500; but our current population is just over 10,000. The more robust growth projections are, the capital projects are inconsistent with what is realistically needed. They need to be scaled back, which influences the rates. Similarly, we need to take a look at credits; they are a little overgenerous and difficult to administer. The stormwater methodology is messed up; it's too easy to circumvent and not pay. We need to look at ways to make it effective. We need to look at equity issues such as for restaurants. Are they scaled right? If so, should they still be adjusted? We don't have the liberty to say the small guy doesn't pay the same as the chain store does. The State Legislature said no more of that. The methodology has to be formula-based and straightforward so you know you're being treated fairly and can figure out what you're being charged.

Another goal is to complete the annexation of the reservoir properties and the jurisdictional transfer of Big Creek Road. Tokos noted that the County had to clarify Big Creek Road not being in the legal right-of-way right now. They have to figure what the boundary should be. We can't do legal descriptions for what we want to annex yet because of that. Patrick wondered if County Planning is shorthanded; but Tokos said they just ramped up. He thinks the City's priorities just aren't the County's. Tokos continued that we still have a long way to go with the analysis of the reservoirs so we're still a long way away from doing improvement projects. We are not under pressure to get that analyzed as soon as possible. He said it was the same thing with Safe Haven Hill. That process took forever because it was FEMA money we were working with, and they had lots of priorities at the federal level. Berman asked if any

of the aspects of the regional park could start, or if we have to wait until after the annexation. Tokos thought that conversation is probably not going to happen until we get through the Parks System Master Plan. We can't get any traction on that. That Master Plan was last updated in 1993. We are off the charts in terms of what we need park-system-wise. What should our maintenance of the parks system be? The Master Plan update got stripped out of the budget last year. We are trying to partially set aside funding. It's a resource issue. We are not in a position to do it with the pool construction right on top of us. The pool construction will start next fiscal year. We will work this summer to get the additional parking we need for that.

The next goal is to develop strategies for property acquisition and sale of City assets. This involves an issue with City resources again. It takes a fair amount of time to deal with opportunities when they present themselves. Patrick said it would be good to see an inventory of city-owned properties. Tokos has put that together and presented it to the City Council. Patrick said it would be nice to see that. Tokos noted that it includes both developed and undeveloped properties. He said, in doing this, you find all the messes that haven't been cleaned up; and they need to be addressed.

On the next goal, coordinate with the Finance Department to institute credit/debit card payment of land use and building fees, Tokos said he has been working with them on this issue. He gave Finance all the information. They just don't want to institute it because they have some concerns about their internal controls. It's basically on hold until they feel confident that when they roll it out it is responsible. Patrick thought the City should also accept credit cards for business licenses; it should be everything. Tokos said he doesn't see it happening; but he will keep pushing on it. He will be surprised if it's implemented this fiscal year.

On goal "G", secure agreement on multi-jurisdictional partnership to facilitate development of workforce housing, Tokos noted that we did that partnership. It's in place and moving ahead. We have Proud Ground working as a contractor executive director for the Land Trust figuring out how to effectively apply for CDBG funds to get resources available for grants to potential buyers. We would make grant funds available to them so that they can afford a unit that they couldn't otherwise. In return the Trust owns the property and leases it back to them. It's the same model, just a different way to get there. As opposed to building from scratch, these would be buyer-initiated grants. To drive down the cost, they would buy the unit, the Trust would take it on the land, which would go into a 99-year renewable lease. We need resources, which we may be able to get through CDBG. That is being worked on right now.

Next, leverage URA funds to acquire needed rights-of-way in South Beach. Tokos said that all rights-of-way needed for Phase 2 projects have been acquired. Especially when that property's acquired, we will have everything we need for the work we will be doing the next few years. The design for those improvements is being done. The four projects are aligned so they can go out at once because they are all in one geographic area; and that way we should realize a cost savings. They are separate projects but so close together and connected. We will likely get the same firm bidding on all of them. They will probably work on them all at once, which will be a plus. One thing that we will probably have to kick out is line undergrounding on Ferry Slip. We are looking at taking the overhead lines and burying them along the multi-use path. That requires more work with PUD, and there is no way to get that taken care of so it could bid on April 15<sup>th</sup>; so we will have to push that out.

For the next goal, initiate the process of forming a new north side Urban Renewal District, the City Council will consider resolutions at their March 16<sup>th</sup> meeting to kick that off. Tokos has information to get out to the taxing entities before then.

Seal Rock Water District withdrawal. Tokos said this is where the City is trying to clean up the mess that was created in 2007 when the City took over the services responsibilities for much of South Beach from Seal Rock. The properties were never withdrawn from the Seal Rock Water District. Seal Rock WD ended up doing a Master Plan and putting out a bond issue, and some of those properties that were served by Seal Rock are still technically in the district and got hit with those new bond issues. They are paying the City assessment when they were annexed and city water fees; and they are paying Seal Rock for nothing. The boundary stops at the Airport and wraps around the Airport. Idaho Point residents were hit, along with a mismatch throughout South Beach. Wilder is hit the most, and it is expanding and growing. Tokos said the statutes are tough to deal with; and Seal Rock, while they acknowledge that it's not fair and they need to deal with it, it's been difficult getting it resolved.

Patrick thought that one long-range goal should be to do something about annexing; getting more aggressive and there should be a plan of what we want to annex. Island properties need to come into the City. Tokos agreed, for service

as well as it's a real headache for the police department. It's not only for the tax rolls. That's something the City Council would like to do at some point too. The City made a major investment in water and sewer and would like to see it utilized down there.

Continuing on through the FY 14-15 goals, Tokos noted that the next one is moving forward on LIDs. He said basically with LIDs, the City hasn't utilized them in an effective way in a very long time. That's a very viable way of funding improvements; especially when you have small sections of local streets. We've collected a lot of non-remonstrance agreements, but we haven't acted on those. This is about helping the City develop policies for how to utilize the LID resources. These are the types of projects we want staff to prioritize for potential funding through LID. This is how we can structure it so we can reasonably utilize it. A reserve should be put in because we run the risk of not getting paid back. It could provide us an opportunity to put together a stock of informational material for when we go out to engage people. It is basically a tool for getting those property owners who directly benefit to pay for it. There are a lot of ways to set that up. It can be that payments don't happen prior to the improvement, and the City has to pay. Then the City gets paid back over time. The City has 35 acres of property on the north side that we got through foreclosure because we didn't get paid back. This is moving along. It's fully funded by the State. The consultant is just about under contract. Berman asked how good the inventory is of those agreements. Tokos said we have them organized. We put together a GIS layer that probably needs to be updated for the last few. We have to see how effective they are in terms of content. Each one is different. Some were for signal lights, others were for sidewalks; they're all geographically specific.

Regarding the next goal of assisting on preliminary planning for replacement of the Yaquina Bay Bridge, Tokos noted that things are moving along slower than hoped on the future planning. That is an ODOT-managed project. The City doesn't have a lot of control. They are working on baseline modeling. Croteau said that he noticed that it dropped out of FY 15-16 and back to the two to five year goals. Tokos said he doesn't expect it sooner. It's taking a while for ODOT to get this done.

The last of the FY 15-16 goals is changes to the Nye Beach Design Review Overlay. Tokos said that should be done this fiscal year. He has the draft ordinance changes from SERA and is working on the corresponding changes to the code. Then we'll get a recommendation up to the Planning Commission. Tokos will talk to the Citizens Advisory group about the proposed lowering of height limits in Nye Beach. He'll have that discussion with the group, and that will get shared with the Planning Commission.

**Goals for FY 2015-16:** Moving on to goals for FY 2015-16, Tokos noted that the first one is to incorporate Storm Drainage and Sewer Master Plans into the Comp Plan.

The next goal is to work on the Airport Master Plan.

Then there's a goal for amendments to the SDC methodology. Tokos noted that we have funding for that; it's not coming out of the General Fund.

For the goal of completing the annexation of the reservoir properties, Tokos noted that process is moving forward.

Tokos noted that Goal "E" is a new one, and that is the parking study. We will want to get that budgeted for the coming fiscal year. This is time-sensitive because of the expiring districts. Nye Beach expires in July; and the City Center and the Bay Front are a year behind. The payment in lieu of fee was \$750; it was never changed. Changes to that were never adopted; nobody ever wanted to do that. Payment in lieu of didn't work effectively. He doesn't know that we want to revisit that. Berman noted that the parking study will be the same time as Nye Beach ends. Tokos said that Nye Beach is one that we have to figure out what to do with in the intervening time. The Parking District wants to go through reauthorization and get a clause in there that says they can terminate it if an alternative way of funding is developed to give them an out. They want to keep it going, though, so there's no period without contribution. We need to make changes to the Zoning Ordinance to make sure payment in lieu of doesn't pop up again. Tokos was asked what the study will look at. He said parking metering, using room tax or gas tax to pay for it. We are relying on the fact that public assets are being used to meet something normally provided by the private sector with no resources to maintain them; and we have an obligation to come up with a way to make sure they are available and don't fall apart. That has to be funded out of something; there's nothing reserved for that. The fees through the business license surcharge aren't enough to do a whole lot. In the Bay Front you have to decide if you

want to maintain what you have or come up with a strategy to get a parking structure down there. The carrot in this is eliminating off-street parking requirements in all areas. It's too much for an individual property owner to take on given the terrain we are dealing with, which prevents redevelopment activity. Berman asked how the study gets paid for. Tokos said he is working with CM Nebel on that. Nye Beach is willing to kick in some of what they collected already; say \$5 thousand. At \$5 thousand from each district, that's \$15 thousand. The study costs \$45 thousand, we are \$30 thousand short. Some of that could come from room tax and General Fund or lean on the districts to contribute more. There are ways. The study would provide us with a lot of good information going forward. It will help organize our thoughts of what we are trying to accomplish. Is it just a maintenance program over the years? If so, we need to figure out how much to hold away each year. Maybe the City Center will decide they don't need to push there now if they demonstrate that there is more than enough to cover their needs. The current need for the Bay Front is over the top. He would be shocked if we don't have some sort of metering. If we're talking about the revenue streams to support a structure, we can't look past that option because it's a significant funding source.

Goal "F" is engaging the taxing entities on the possibility of establishing a multiple-unit tax exemption program next fiscal year. We are making changes to the Comp Plan. We need to implement this. We need to find out how many would be willing and what the terms would be. Tokos expects to be bringing this back to the Planning Commission to see if the terms are consistent with your expectations on what we are trying to accomplish. He thinks that will happen. He doesn't think there will be a lot of push back; especially if it's tailored to undeveloped properties.

Work on the withdrawal of properties from the Seal Rock Water District will continue.

Goal "H" has to do with the fact that our department needs to spend time on building services. Now we have a full-time Building Official, we need to capitalize on this. The building code itself, and the building fee structure hasn't been evaluated since the 2007-08 timeframe. We will be moving on e-permitting pretty soon, which is a service we should be able to make available to the public. Tokos was asked if we pay the County to do any of this; and he said no; only if they backup. For a mechanical permit, people have to go to the County. Trying to pull that here is going slowly. Tokos will keep pushing on that to get an IGA to get it transferred to us near term. We can then approach the State to get it officially transferred. Hardy asked if we're updating the building codes, are we going to address building construction flaws; if you're doing the wrong things and getting away with it. Tokos said we are starting to do work on dangerous buildings and how best to abate them. Dangerous buildings are defined in the 1997 Dangerous Buildings Code. We have one circumstance of a motel working through that process right now. They had issues like exposed electrical wiring in the rooms, plumbing discharging on the ground, and water intrusions in the units, which in many cases was pouring over exposed electrical wiring. Hardy asked if we have a system in place to deal with these, or are we going to have to adopt something. Tokos said we have two ways; under the nuisance abatement code or under the unsafe building code, which is a national code that we have adopted. The two processes are different.

*(Commissioner East joined the meeting at this point.)*

Hardy continued by saying that water intrusion can lead to mold and interior structural failure. Tokos said if there is imminent structural failure, we clearly want to jump on that. We are trying to make the process clear and straightforward and as fair as possible. Part of it is that a lot of those properties are in that condition because the property owner doesn't have a way to do it and will avoid bringing this up to code. As efficient as it can be, the better.

There's a goal to get the mechanical program transferred to the City for those properties within the Newport city limits. Getting that changed over is a priority. We want it in-house. Our new Building Official is able to deal with that.

Tokos noted that we had already talked about e-permitting and also about credit card payments. Those are goals for FY 15-16.

There's a cycle coming up with the State for transportation projects. We are looking to coordinate with ODOT on a joint project to improve signal timing. Hurbert Street is a good example, as well as 20<sup>th</sup> and 101, and 6<sup>th</sup> Street. Some might include actual construction work at the intersections. Tokos doesn't know how this will play out. That STIP funding will be light on funding. Lincoln City got most of ours in the last cycle; so the next STIP cycle could be tough for big coastal projects. Linn and Benton counties may say why not them. Tokos thinks that signal timing is a good

project. It's a glaring need; especially in the summer; and it's not a huge expensive fix. Branigan asked if we should add something about pedestrian crossings. Tokos said those are about to get built finally.

We will continue to work on workforce housing issues. That is a long, hard, difficult process. He apologized that we're not making as much progress as we had hoped. Hopefully the CDBG will be a good option. Tokos will also have a conversation with Habitat and maybe get units going that way.

Patrick said that one thing he hears from developers is that paying SDCs up front is a big hit. They're paying for services that they're not getting until the end. Tokos said with SDC methodology, we can look at workforce housing as part of that. As part of the housing study, we heard the biggest hit out here is the availability of land. Developers can't get land at reasonable prices, which drives everything up. SDCs were mentioned too; but land was the big thing. Property tax abatement hopefully may be a way to help if they can factor in a 10-year abatement. Berman asked if we could consider deferring payments of SDCs over a time period instead of waiving property taxes. Tokos said as the City, he likes the property taxes because everybody takes a hit; not just the City. The problem with getting too generous with SDCs is that we starve ourselves of resources we need to put infrastructure in place, which is also a problem for development. If there's no infrastructure, a big chunk has to be built and financed somehow. It's a balancing act.

**2-5 Year Goals:** Lastly, Tokos' memo listed the 2-5 year goals, which he had pretty much covered already. He said he wouldn't go through them individually unless there were questions.

Berman said that short-term there wasn't anything about erosion control. Tokos said it's in the 2-5 years because we have to get the Stormwater Master Plan adopted first to provide the framework for how projects should be developed. It will include policies for how to manage stormwater on private property. Stormwater and erosion are inherently connected. Our Building Official might have enough to implement erosion control on private properties. It's lining up; but it's more in the 2-5 year window. We'll get the Stormwater Master Plan next fiscal year.

Croteau asked if we should have something about student housing. Patrick agreed it possibly should be there. Tokos said he will put that in there. If we get the tax abatement program next fiscal year, what's the emphasis on student housing over the 2-5 year period? The City is continually working with OSU on that. Berman thought that seems specific. He said that particular opportunity with 500 students will break ground in 2016. Somebody has to be getting ready to get them a place to sleep. Tokos said that the City has little influence over that. OSU will proceed. We don't have a lot of control over what they do on the housing side. Perhaps it's working to get the word out. Hardy thought that it should be workforce, low-income, and student housing without targeting one or the other; which seems like it would be favorable treatment. She said OSU is going to have to do student housing of their own. Tokos said maybe in 2-5 years we would want to engage to evaluate how effective these tools have been. If we get the tax abatement program, after 3-4 years, has it been used? Patrick thought we need to evaluate that, and the same with the others.

Patrick said that something else we should probably do because we have that one outstanding Master Plan is look at having a schedule to update these things so they don't end up like the Park Master Plan. Tokos said that's a good point. The Park Master Plan has limited us on what we can do. Coast Park was built with SDCs. That's the only dedicated funding source for parks that we have. The City hasn't used room tax for that, although it could. But then it would be diverted from something else.

Tokos explained that in the 2-5 year goals, what he tried to do was lay out the next logical progression on a lot of the topics we have been talking about.

**Planning Commission emphasis:** Tokos asked, with the City Council goal setting coming up on the 23<sup>rd</sup>, if there were any specific issues off this list or otherwise that the Commissioners would like to convey to the Council as key points of emphasis or concern coming from the Commission. He asked if there are areas the Commissioners want the Council to think hard about adopting as their objectives for the coming year.

Branigan mentioned moving the National Guard down to the Airport with a land swap where the City takes over that property. He said maybe the City owns it. Then it could be sold or redeveloped. Tokos said the City doesn't own the property, but we get it back if they don't need it any more. If they went to the Airport, we would technically take the property back. We need to look at the Airport Master Plan coming up. We'll look hard at that.

Croteau said the biggest thing, if it goes forward, is the North Side Urban Renewal District. That will be pretty large. Getting the read from the City Council on that is critical. Patrick said they were talking about budget issues. They have to figure out how to fund it. Tokos said at the Planning Commission's next meeting he will be bringing information to discuss and review for forwarding a recommendation to the City Council on how they should frame the Urban Renewal conversation in terms of kicking it off. We will have suggestions for areas of expertise that should be on the technical advisory committee.

Berman would like to see an emphasis on normalizing the city limits in the south end. So many things could be impacted by that. Make it more consistent in appearance. Consistent enforcement of ordinances. Patrick said we don't need to be like Lincoln City and end up like they did with Roads End. Tokos said we could leverage to take them in under island annexation. There's nothing on the north side that needs to be aggressively brought in. But some areas we could for service issues. Patrick thought that cleaning up the boundary in South Beach should go to the top of the list; at least to look at it. He said that updating the master plan, reviewing things, and most of the things are on a pretty reasonable schedule.

Tokos gave a synopsis of the goals the Planning Commission wants to emphasize:

- Take a hard look at what can do to engage and encourage the National Guard to relocate to the Airport. Look at it carefully as part of the Airport Master Plan process.
- Keep moving forward on forming a new North Side Urban Renewal District and dedicate resources needed to make it happen in a timely manner.
- Pursue normalizing the city limits in South Beach by engaging property owners on annexations and withdrawals.
- Keep moving through the Master Plans to get them updated and adopted. Include SDC methodology because it goes along with that.

Patrick said we have to do something about the parks SDC. Tokos said it is a big chunk on the residential side. He noted that, looking at examples from other jurisdictions, it's not out of the ordinary. In part, that's because there's usually not another funding source; and it tends to come out of SDCs. What we may be able to do on that is a more limited effort that just focuses on capital need; not on maintenance so we can update the SDC side, and it's not a full Park System Master Plan. If we do it right, we can use that when we have the resources to do a full Park System Master Plan. The big things on a good Master Plan will be public engagement, Park and Rec committee involvement, and community outreach to get a better understanding of what the community wants. What's the emphasis? Can we afford to maintain what we're building? It's pretty involved. Patrick said even getting the piece on capital improvements because if it hasn't been updated since 1993, he doesn't even know what's on it any more. Berman said we used the Park System Master Plan as part of the justification in the Urban Boundary expansion. Patrick would be curious to see what things actually got done. He thinks some of those parks we did weren't even on the plan. Tokos said that Coast Park and Wilder are two that were added. One was a developer contribution, and they received SDC credits. The other was paid out of SDCs. Patrick said so we don't have a plan. Tokos said that he doesn't think that it's total chaos. There have been some sound decisions made. Maybe not with the whole system as a whole in mind; but on an opportunity by opportunity basis. Coast Park is a good improvement. There was that gully area over by OMSI preserved with a conservation easement. Wilder Twin Park is useful as a neighborhood park. These are beneficial; they've just been kind of ad hoc. The dog park in Wilder was totally a development amenity.

Tokos said he will take these four issues and work them into an email. He will talk to CM Nebel about getting them formally into the presentation for the meeting on the 23<sup>rd</sup>, and we'll see what we get overall as City Council priorities.

**H. Unfinished Business.** No unfinished business.

**I. Director Comments.** No additional Director comments.

**J.      Adjournment.** Having no further business to discuss, the meeting adjourned at 7:26 p.m.

Respectfully submitted,

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Wanda Haney  
Executive Assistant

## Derrick Tokos

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**From:** " <terehere@aol.com>  
**Sent:** Friday, February 20, 2015 9:24 AM  
**To:** Derrick Tokos  
**Subject:** Inn at Nye Beach Hearing

Teresa Clifton  
1232 Shot Pouch Rd.  
Blodgett, OR 97326-9702  
541-453-4032  
Owner 757 NW Coast St. #6  
Lighthouse Lodges Condominiums

I am writing with concerns about the design review and possible conditional use permit being issued to John Lee, Nye Hotel..File Nos. 1-NB-15/1-CUP-15..without great consideration being given not only to design guidelines but impact on traffic, parking, noise and comfort of surrounding guests.

I have great concern for how this addition will impact the quality of my prior full time residence, current weekend and vacation home and future retirement home. I have been paying taxes and maintaining and enjoying this property since 1994. I feel that the proximity and loss of view and light should be considered for the seven current property owners of Lighthouse Lodges. This seems inconsistent with the ambiance( design and architectural features) of "The Historic Nye Beach" concept. We already experience spill over parking of our very small lot with cars from the current hotel structure. I am uncertain how much impact more guests and foot traffic might impact the beach itself.

Just because we can "go bigger" "earn more" doesn't mean we should. To maximize one income at the possible detriment of the surrounding properties and earning potential of other local motels and hotels should be a serious consideration. The impact of the number of units on traffic parking, environment and the beach itself should be concerning everyone. Eventually one person is one person too much!

Teresa Clifton



**PLANNING STAFF REPORT**  
**File No. 1-NB-15**

- A. **APPLICANT/PROPERTY OWNER:** John Lee (John Lee, Denny Han, and Dale Johnson (authorized representatives), Nye Hotel, LLC (owners)).
- B. **REQUEST:** Consideration by the Planning Commission of a request for design review under the design guidelines for the Historic Nye Beach Design Review District to review the plans for a 10,375 sq. ft. addition that includes 16 guest rooms, a lobby addition, laundry addition, and a new spa building at the Inn at Nye Beach (formerly the Greenstone Inn). An existing two-story building on the property, which contains 3 guest rooms, a fitness room and laundry room will be demolished. The new addition will be constructed in its place. It will be three stories in height, and will extend over the existing driveway to tie into the existing hotel. The building plans list the peak height of the addition at 47ft., 3-in., and illustrate that the building footprint will be 138-feet in length.
- C. **LOCATION:** Tax Map 11-11-05-CC, Tax Lot 5600 (729 NW Coast St.).
- D. **STAFF REPORT**
- 1.) **Report of Fact**
- a) **Plan Designation:** Commercial
  - b) **Zone Designation:** C-2/HNBO/"Tourist Commercial (Historic Nye Beach Design Review District (HNBO))".
  - c) **Surrounding Land Uses:** A mixed-use neighborhood. Uses include public land, single and multi-family residences such as the Pacific Crest condominiums abutting to the south and Lighthouse Lodges Condominiums abutting to the north. A number of the residences in the area are used as vacation rentals, and commercial uses in the area are largely tourist oriented (such as the Waves Motel located to the north along Coast Street).
  - d) **Existing Structures:** A three story, 20 unit-hotel, with hospitality room, courtyard, and basement level parking constructed in 2010 (replaced a 14-unit portion of the Viking Motel), along with an older two-story structure containing 3 guest units, a fitness room and laundry room.
  - e) **Utilities:** All are available to the site.
  - f) **Development Constraints:** Geologic hazard area. Three geologic permits were issued between 2006 and 2009 addressing the partial removal of the Viking Motel and construction of the existing three story hotel. A geologic permit was issued in 2014 for the current proposal.  
**NOTE:** The geologic permit process is a separate process and not part of design review.

g) **Past Land Use Actions:**

- File No. 1-GP-14. 5/23/14. Replace 2-story building with 3-story structure that will contain 16-20 guest rooms and will connect to existing hotel.
- File No. 4-GP-09. 6/18/09. Update to geologic permits issued under 11-GP-07 and 9-GP-06.
- File No. 1-NB-08. 5/27/08. Design review approval for the 3-story, 20 unit hotel that was completed 5/24/10.
- File No. 11-GP-07. 12/28/07. Update to geologic permits issued under 9-GP-06.
- File No. 9-GP-06. 8/11/06. Original geologic permit for construction of the Greenstone Inn (now the Inn at Nye Beach), which replaced a portion of the Viking Motel.

g) **Attachments:**

Attachment "A" – Application Form

Attachment "A-1" – Applicant's Narrative

Attachment "A-2" – Building Plans and Elevation Drawings of the  
Proposed Addition \*

Attachment "B" – Public Notice and Map

Attachment "C" – Zoning Map of HNBO

Attachment "D" – HNBO Design Guidelines, Illustrations, and Standards

Attachment "E" – Photographs and Narratives of Development Approved  
under the Guidelines

Attachment "F" – Photographs of Historic Nye Beach Development

Attachment "G" – East Exterior Elevations of Hotel, 2008 to Current

Attachment "H" – Email from Rob Murphy, Fire Chief, dated 1/19/15

Attachment "I" – Letter from SueEllen O'Connor-Ferris, dated 2/10/15

Attachment "J" – Letter from Dr. Frank Benison, no date

Attachment "K" – Letter from David and Margaret Hall, dated 2/18/15

Attachment "L" – Letter from Brendan Carmody, dated 2/11/15

Attachment "M" – Letter from Rebecah Lutz, dated 2/18/15

Attachment "N" – Email from Michele Laurel, dated 2/19/15

Attachment "O" – Letter from Stephen Sivage, dated 2/19/15

\* Note: Reduced for copying purposes. Full size plans available at  
Community Development Department and will be available at Planning  
Commission hearing.

- 2.) **Explanation of the Request:** The applicant, John Lee, is seeking design review approval to construct a 10,375 sq. ft. addition to the Inn at Nye Beach. The 2-story building at the north end of the property will be removed and replaced with a 3-story addition that will extend over the driveway before tying into the existing hotel. A total of 16 guest rooms will be added, along with a lobby addition,

laundry addition, and new spa/pool building. The spa/pool building is west of the main structure. A patio and 15 new paved, off-street spaces are also being added west of the main building. The applicant's building plans list the peak height of the addition at 47ft., 3-in. (north end), and show the main building to be 138-feet in length.

3.) **Evaluation of the Request:**

- a.) **Comments:** All affected property owners within the notification area, City departments, and public/private utilities were notified on January 21, 2015. As of February 19, 2015, comments were provided by the Newport Fire Chief and the neighboring property owners noted above.
- b.) **Applicable Criteria:** Pursuant to Newport Municipal Code (NMC) Section 14.30.070, the proposed development is subject to design review. Within the Historic Nye Beach Design Review District, design review can be done through two methods: 1) under the design standards, which are a set of specific standards and are reviewed by staff in conjunction with a building permit application, and 2) under the design guidelines, which are more general and flexible requirements than those found under the design standards. For design review under the design guidelines, the Planning Commission is the review authority pursuant to NMC 14.30.080(A). To be able to qualify for design review under the design standards (which is the clear and objective standard process reviewed by staff in conjunction with a building permit), the proposed hotel would need to be less than 35 feet in height (ref: Commercial and Public/Institutional (CPI) Design Standard #1A)). Because the building is more than 35 feet in height, the applicant is required to proceed with design review under the design guideline process. The maximum height allowed in the C-2 zone is 50 feet. The intent with the two different methods of design review is to allow smaller projects that meet certain requirements a simpler path under the design standards for approval. The commercial design standards were intended to be one method of implementing the broader design guidelines. The broader design guideline process is intended to allow for more flexibility in the design review process and also to allow for public input into the review of a project.

In addition to satisfying design review guidelines, the proposed development is also subject to a Conditional Use Permit because the main building will have an exterior dimension in excess of 100 feet (NMC 14.30.060(A)). This is, in part, to ensure that the proposed building modification is consistent with the overall development character of the area with regard to building size and height, considering both existing buildings and potential buildings allowable as uses permitted outright.

Each of the design review guidelines and conditional use criteria are listed below in the staff analysis.

- c.) **Staff Analysis:** The application includes narrative where the applicant notes how they have tried to adhere to the non-discretionary design standards as much as possible, along with plans and elevation drawings that show the design and dimensions of the proposed development (Attachment "A-1" and "A-2"). This information provides the Planning Commission with substantial evidence upon which to render a decision as to whether or not the proposed hotel addition satisfies the following criteria:

*Design Guideline # 2 – Commercial buildings shall acknowledge the scale of the streetscape and shall contain architectural features to break up building facades to reflect appropriate human scale measurements with windows, doors, ornamentation, awnings, and similar design features. Commercial buildings (excluding portions of a hotel/motel where guest rooms are on the ground floor) shall emphasize the pedestrian orientation of retail shopping by utilizing banks of windows with multiple small windows (less than 20 square feet) and/or large windows with multiple panes along all sides abutting a public right-of-way. The contextual scale of new large commercial buildings over two stories shall be reduced by using horizontal or vertical divisions and stepped roof lines. Buildings greater than one story in height shall be designed with canopies, balconies, offsets in the building façade, or other architectural/design features that reduce the building's vertical emphasis. See Illustrations # 7 and # 8*

With the decision in File No. 1-NB-08, the Planning Commission accepted that the existing hotel satisfied this standard. The proposed addition incorporates the same design features. Elevation drawings and perspective renderings of the hotel with the new addition have been prepared by the applicant (Attachment "A-2"). They illustrate how the applicant has incorporated techniques outlined in this guideline to effectively to break up the façade as viewed from NW Coast Street, orienting the building to a human scale (e.g. window massing, incorporation of balconies, stepped/variable roof lines, use of variable setbacks/off-sets to break up the horizontal line of the building, etc.).

This guideline is focused on building elements that face the public right-of-way (east elevation). It is not applicable to the spa building, off-street parking, and related improvements the applicant plans to make internal to the property.

*Design Guideline # 3 – Roof slopes on commercial projects shall be between 5:12 and 12:12 unless there is a flat roof with parapet. Mechanical equipment shall be screened and integrated into the roof design. Roof shapes shall be compatible with the neighborhood. A standing seam is recommended for metal roofs. Gable and hip roof forms are recommended. Parapet walls shall be integrated into the building. See Illustration # 7.*

The hotel roof plan (Sheet A-4, Attachment "A-2") shows that the predominant roof form is a clipped gable roof with a 7:12 pitch. That same roof form has been used for the addition. Shed roof elements have been incorporated into the lobby addition at a 5:12 pitch. The shed roof at the entrance is listed at a 4:12, which does not meet the guideline; however, the perspective renderings show that it matches the slope of the other shed roof features (ref: Sheets A-8 and A-9, Attachment "A-2"). The Planning Commission may want to have the applicant clarify this discrepancy.

The applicant's elevation drawings show that parapet walls have been used where flat roof elements have been incorporated into the design. The only new flat roof element appears to be where the addition is transitioned into the existing hotel.

This guideline applies to the spa building as well. The roof plan for that structure shows 4:12 pitch (ref: Sheet A-7, Attachment "A-2"). The slope of that roof will need to be increased to 5:12 or greater in order for the guideline to be met.

*Design Guideline # 4 –In commercial areas, commercial buildings shall abut the front property line. Allowable exceptions to the requirement to abut the front property line include areas where the existing buildings adjacent to the property are set back from the property line, where a pedestrian oriented feature such as a courtyard, patio, landscaped area with seating or outdoor café seating is included, or where severe topography or an easement precludes the building abutting the front property line. Commercial buildings shall abut a side yard property line where possible except to allow access for parking, the side abuts a zoning district which requires a side yard, or a setback is required for ocean front lots. Gaps in building walls shall be avoided except for pedestrian and parking access, or a pedestrian oriented feature such as a courtyard, patio, landscaped area with seating or outdoor café seating is included.. Front and side yard setbacks, where they exist, shall be fully landscaped or shall provide a pedestrian oriented feature as described previously. Trash collection areas shall be screened. See Illustrations # 7 and # 8.*

This guideline applies to the hotel and should be read in context with NMC 14.30.060(A)(3) which prohibits buildings from being setback more than 5 feet from the property line (unless a pedestrian oriented amenity is provided) and Guideline #2 which encourages the use of variable setbacks to break up the form of the structure as viewed from NW Coast Street. The northwest corner of the addition will abut the side yard property line on the north end of the site, consistent with this guideline (ref: Sheets A-1 through A-4, Attachment "A-2"). That property line is at an angle, so it is not possible for the addition to abut it at other locations. The only gap in the hotel façade is on the ground floor in order to provide vehicle and

pedestrian access to the rear of the building, consistent with the guideline. The building does not abut the side yard property line on the south end of the site because that area must be kept open for fire access. The applicant's plans show that undeveloped areas within the setbacks will be landscaped and that the trash enclosure will be screened (ref: Sheets L-1 and L-2, Attachment "A-2").

*Design Guideline # 5 – Buildings shall generally be compatible in design and appearance with other buildings in close proximity by including similar types of architectural features and materials. Where the surrounding buildings predominately do not include architectural features found in the design standards, the proposed building subject to design review shall include architectural features that are common to the district as identified in the design standards or by findings documenting similar architectural features found with the design review district. Where the surrounding buildings predominately do not include architectural features found in the design standards, innovation and creativity in design may be allowed consistent with the design guidelines. See Illustrations # 7 and # 8.*

This guideline focuses on general compatibility in design and appearance with other buildings in close proximity. If the surrounding buildings predominately do not include architectural features found in the design standards, the proposed building is required to use architectural features common to the HNBO and innovation and creativity consistent with the guidelines is allowed. With its decision in 2008, the Commission determined that architectural features incorporated into the existing hotel (i.e. the portion that will remain) satisfied this guideline. The applicant's plans show that the hotel addition and spa building will have similar features.

Testimony has been provided from property owners in the nearby Lighthouse Lodge condominium development that the height and mass of the hotel addition is not compatible in design and appearance with nearby buildings, several of which are smaller in size. These concerns have been raised because the addition will be close to the property line shared by the respective developments (which Guideline #4 encourages). The Commission should consider buildings that exist in close proximity to the site and determine whether or not the addition, as proposed, is generally compatible with those developments. If the Commission believes that it is not compatible then it must identify steps that the applicant can take to make the addition generally compatible. Commission members should keep in mind that if the applicant had proposed an addition under 35-feet in height, review under the guidelines would not have been required.

*Design Guideline # 6 – Building orientation shall be towards the frontage street(s) with entrances facing the street(s). Buildings shall provide variety in building shape, height, roof lines, setbacks, and design features consistent with Guidelines #4 and # 5. See Illustration # 5, # 6, # 7, and # 8.*

NW Coast Street is the only street adjacent to the subject property. The applicant's plans show that the hotel is oriented towards NW Coast Street and that the principal entrance to the building is off of that same street. Further, the floor plans, architectural elevations, and perspective renderings illustrate that the building has many varied planes, heights, and roof forms to further develop a rich streetscape.

The building variety element in the last sentence of this guideline is directed at not having every building within the HNBO be exactly the same. As noted in the Introduction section of the Historic Nye Beach Design Review Requirements on pages 1-2: "The intent of design review as applied to development within the district is to maintain the cohesive architectural character of Nye Beach by incorporating common architectural elements currently and historically found within the neighborhood without requiring strict adherence to a particular architectural style." Therefore, the reference to the variety element of this guideline should be considered in light of the other buildings in the area and within the HNBO.

*Design Guideline # 7 –Commercial and multiple family residential (greater than 2 dwelling units) projects shall not be shaped by off-street parking. On-site parking shall be at the rear or side of the building with access via alleys or interior streets unless based on review of the project the review authority determines that topography such as steep slopes precludes side or rear parking. Parking garages shall complement the main building by using similar architectural details as the main building. Shared parking facilities are allowed and are encouraged. Parking shall be safe and accessible. Views of parking areas from adjacent residential and commercial uses shall be screened. Pedestrian movement shall be clearly defined. See Illustration # 6 and # 9.*

This guideline relates to off-street parking and generally requires that when off-street parking is provided on site that it be provided at the sides or rear of the building, or below street grade. The applicant's site plan shows that off-street parking needs will be met with the existing basement level garage and new "at grade" surface parking stalls that will be located between the hotel building and edge of the bluff, out of view from pedestrians and vehicles traveling along NW Coast Street (ref: Sheet SP-1, Attachment "A-2"). New surface parking will be visible from adjoining residential areas to the north and south. Along the north property line the applicant is proposing landscaping; however, the plantings are primarily

shrub and groundcover species that may not be sufficient to provide meaningful screening (ref: Sheet L-1, Attachment "A-2"). The Commission may want to require that the applicant adjust the landscaping plan to provide more effective screening at this location. Similarly, surface parking may be visible from residential property to the south, since it extends west past the retaining wall. There doesn't appear to be any landscaping proposed at this location and it is likely that the existing fence will need to be removed to accommodate the proposed site improvements. The Commission may want to have the applicant supplement the plantings or fencing at this location to provide more effective screening.

*Design Guideline # 8 – Pedestrian circulation for commercial projects is necessary to maintain the walking environment of Nye Beach. Separate pedestrian and vehicular traffic patterns shall be provided. Linkages between adjoining uses shall be provided. Pedestrian circulation routes shall be continuous and integrated into the larger pedestrian circulation network. Specialty paving is encouraged. See Illustration # 6 and # 9.*

The focus of this guideline is on commercial projects and is intended to maintain the walking environment of Nye Beach. The applicant's site plan shows that pedestrian and vehicle maneuvering areas internal to the site will be separated with clear markings for pedestrian access ways (ref: Sheet SP-1, Attachment "A-2"). Similarly, sidewalk along the west side of NW Coast Street provides a clear point of separation between pedestrian and vehicle routes.

*Design Guideline # 9 – Exterior permanent lighting for commercial projects shall be restrained by using lighting features that minimize the impact of lighting such as full-cut off fixtures and/or recessed or shielded lighting such that no light source is visible from a public right-of-way or adjacent property. Areas used extensively at night shall only be illuminated to the extent necessary for safety and security. On-site lighting shall be related to the site and retained on the site by directing the light downward, recessing the light, and/or shielding the light. Lighting fixtures shall complement the architectural character of the building. If landscape lighting is used, the landscape lighting shall be restrained by using lighting techniques (i.e. recessing the light, shielding the light) that minimize the impact of light. The use of light poles similar in appearance to the light poles installed as part of the Nye Beach Streetscape Project is acceptable for parking lot lighting and other lighting for which a light pole is used.*

The focus of this guideline is on commercial projects and is intended to address the impact of lighting. The application materials do not address this guideline. On the last page of their written narrative, the applicant notes that this requirement will be addressed with a lighting plan that will be prepared in the future when they put together their electrical permit plans (Attachment "A-1").



This guideline envisions that the Commission will have an opportunity to review the lighting plan to confirm that (a) outdoor lighting will be limited to areas used extensively at night or that are needed for security purposes, (b) that the lighting is recessed or shielded such that it does not shine directly onto the public right-of-way or neighboring streets, and (c) that the lighting fixtures will complement the architectural character of the building. Given that these factors are discretionary, it is not something that the Commission can defer to a condition of approval or a staff level electrical plan review. The Commission may want to require the applicant provide additional information explaining how this guideline will be met before rendering a decision.

*Pursuant to NMC 14.35.050, Criteria for Approval of a Conditional Use Permit are as follows:*

*(A) The public facilities can adequately accommodate the proposed use.*

The proposed use will add 16 hotel units, along with a spa building and various recreational amenities to the rear (west side) of the main building. Three hotel units will be removed with the demolition of the existing two-story building, meaning there is a net gain of 13 units.

City water and sewer service is available via 8-inch lines located within NW Coast Street. A storm drainage system is also in place at this location and street access is available to the property. With the hotel addition extending to the north property line, adequate access for fire suppression purposes was a concern. The applicant is addressing this by installing a fire access stairway at the south side of the building. Rob Murphy, Newport Fire Chief, has reviewed the plans and finds them to be acceptable (Attachment "H").

*B. The request complies with the requirements of the underlying zone or overlay zone.*

A hotel use is permitted in the underlying C-2 zone district (NMC 14.03.070(2)(e)). The C-2 district has a zero lot line setback. The applicant's roof plan shows that the eaves of the hotel addition will extend past the north property line, which would not meet the setback requirement (ref: Sheet A-4, Attachment "A-2"). The applicant is aware of this issue and will be submitting revised plans that show the eaves pulled back so that they are fully contained on-site. The property is within the Historic Nye Beach Design Review District. Project compliance with the district's guidelines is addressed in this report. The site is also within a Geologic Hazards Overlay, and the applicant has obtained a separate geologic permit for this project (ref: File No. 1-GP-14).

*C. The proposed use does not have an adverse impact greater than existing uses on nearby properties, or impacts can be ameliorated through imposition of conditions of approval. For the purpose of this criterion, "adverse impact" is the potential adverse physical impact of a proposed Conditional Use including, but not limited to, traffic beyond the carrying capacity of the street, unreasonable noise, dust, or loss of air quality.*

Several letters have been submitted from individuals that own units in the Lighthouse Lodge condominium development immediately north of the subject property. They are concerned with the height and overall mass of the development and believe that it will adversely impact their property by eliminating solar access. The proposed three-story addition is taller than the two-story building that is being removed and is being constructed closer to the property line. Given that the applicant's property is immediately south of the Lighthouse Lodge development it will have an impact on solar access.

The Commission should consider that it is the building's length at over 100-feet that triggered the need for a Conditional Use Permit, not the structure's height. Given the hotels north/south orientation, the length of the building is not as significant an issue with respect to solar access as is the buildings height. The Commission should also think about whether or not obstructing solar access is a physical impact within the meaning of this standard and, if so, whether or not the addition will have a greater adverse impact than other existing uses in the area relative to this issue. Setbacks are a common tool that is used to provide building separation and solar access; however, the C-2 district does not have a setback requirement and there are numerous examples of development in the area that are close to or adjacent to a property line. The Commission can rely upon the lack of a setback as grounds for finding that there isn't an expectation that solar access is something a developer must accommodate when designing a project in this zoning district.

A common circumstance where a greater adverse impact can occur is if the project does not provide for adequate off-street parking, forcing those vehicles to instead occupy space on or adjacent to other properties. The applicant accounted for this by providing 15 new off-street parking spaces, which exceeds what they would otherwise have been required to provide under Newport Municipal Code Chapter 14.14 (Parking, Loading, and Access Requirements).

*D. A proposed building or building modification is consistent with the overall development character of the area with regard to building size and height, considering both existing buildings and potential buildings allowable as uses permitted outright.*

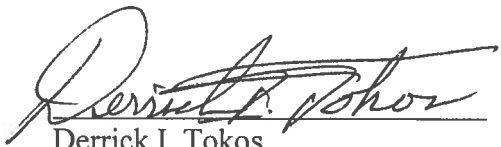
The Commission has received written testimony in favor of, and in opposition to the project. Comments in favor point to how the applicant has taken care to blend the addition into the existing building creating a consistent, cohesive architectural appearance. They also point to how the addition is comparable in height to the existing hotel, and that the additional rooms at this “boutique” hotel will draw more tourists to Nye Beach which will be a boon to local businesses. Letters in opposition argue that the building at 138-feet in length and up to 47-feet in height is inconsistent with the overall development character of the area because it is too large.

The Commission should consider existing and potential development that can occur in Nye Beach when weighing whether or not this standard has been met. To that end, photographs are included of development projects that have been approved since the Design Guidelines were adopted. Details about the height and size of the buildings are included with the photographs (Attachment "E"). Also, attached are historical photographs of Nye Beach development, including a number of hotels that were built in the area (Attachment "F").

The maximum height allowed in the C-2 zone is 50 feet and the proposed building would be below the maximum height. When the Planning Commission found the existing hotel to be consistent with the design review guidelines, the building elevation was depicted as being 39 feet, 9 inches above the average grade. Construction drawings on file with the City list the height of the hotel as 41 feet, 4-5/8 inches and the applicant's architectural renderings indicate that the existing hotel is 45 feet, 2 ½ inches in height (Attachment "G"). It is unclear why such a discrepancy exists. It may have to do with inconsistent or inaccurate information being available regarding the average grade from which the height was measured. It is also possible that the existing hotel was constructed to a height in excess of that which was approved by the Commission in 2008. The applicant, who did not own the property at the time, is proposing to keep the existing hotel at its present height; however, the addition will be slightly taller, with a peak height of 47 feet, 3 inches. If the Commission finds that this proposal satisfies the approval criteria then it may want to impose a condition requiring that a surveyor take a measurement of the height of the addition when the building is being framed to confirm that it is no taller than what has been represented on the plans.

- 3.) **Conclusion:** If the Commission finds that the application complies with the design guidelines established for the Design Review Overlay District and satisfies the conditional use approval criteria, then the Commission should tentatively approve the request and direct staff to prepare findings of fact and a final order in support of such approval for consideration at the Commission's March 9, 2015 meeting. If the Commission finds that the application does not comply with the criteria, then it should specify where the application fails to meet the criteria and

explain how it could be made to comply. If, on the other hand, the Commission finds that the application cannot be made to comply, then it should identify why that is the case and direct staff to prepare findings and a final order for denial so that they may be presented for the Commission's review and possible adoption on March 9<sup>th</sup>. Pursuant to NZO 14.30.080(B), required modification(s), if any, to the design shall only be specified by the Planning Commission if necessary to avoid a finding that the application does not meet the applicable design guidelines and shall be limited to only those modification(s) necessary to avoid a denial of the permit application.

A handwritten signature in black ink, appearing to read "Derrick I. Tokos", with a stylized flourish at the end.

Derrick I. Tokos  
Community Development Director  
City of Newport  
February 19, 2015



# City of Newport Land Use Application

By VM

Applicant Name(s): <b>John Lee</b>	Property Owner Name(s) if other than applicant <b>NYE HOTEL LLC</b>
Applicant Mailing Address: <b>1915 NW Maberglen Pkwy Suite 400</b>	Property Owner Mailing Address: <b>Beaverton, OR 97006 (same for both)</b>
Applicant Phone No. <b>503-765-5556</b>	Property Owner Phone No. <b>541.265.2477</b>
Applicant Email	Property Owner Email <b>jlee@vipgroup.com</b>
Authorized Representative(s): Person authorized to submit and act on this application on applicant's behalf <b>John Lee, Denny Han and Dale Johnson</b>	
Authorized Representative Mailing Address: <b>Same as above</b>	
Authorized Representative Telephone No.	
Authorized Representative Email.	

## Project Information

Property Location: Street name if address # not assigned <b>729 NW Coast St</b>	
Tax Assessor's Map No.: <b>R218156</b>	Tax Lot(s): <b>11-11-05-CC-05600-00</b>
Zone Designation: <b>C-2</b>	Legal Description: Add additional sheets if necessary
Comp. Plan Designation: <b>Commercial</b>	<b>NYE AND THOMPSON ADDN.-NEWPC</b>

Brief description of Land Use Request(s):

Examples:

1. Move north property line 5 feet south
2. Variance of 2 feet from the required 15-foot front yard setback

Design Review approval for height exceeding

Existing Structures: if any

Existing Hotel main structure and accessory office structure

Topography and Vegetation:

Typical coastal vegetation, 5-10% site slope to bluff, extreme slope bluff to beach

Application Type (please check all that apply)

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Annexation               | <input type="checkbox"/> Interpretation           | <input type="checkbox"/> UGB Amendment       |
| <input type="checkbox"/> Appeal                   | <input type="checkbox"/> Minor Replat             | <input type="checkbox"/> Vacation            |
| <input type="checkbox"/> Comp Plan/Map Amendment  | <input type="checkbox"/> Partition                | <input type="checkbox"/> Variance/Adjustment |
| <input type="checkbox"/> Conditional Use Permit   | <input type="checkbox"/> Planned Development      | <input type="checkbox"/> PC                  |
| <input type="checkbox"/> PC                       | <input type="checkbox"/> Property Line Adjustment | <input type="checkbox"/> Staff               |
| <input type="checkbox"/> Staff                    | <input type="checkbox"/> Shoreland Impact         | <input type="checkbox"/> Zone Ord/Map        |
| <input checked="" type="checkbox"/> Design Review | <input type="checkbox"/> Subdivision              | <input type="checkbox"/> Amendment           |
| <input type="checkbox"/> Geologic Permit          | <input type="checkbox"/> Temporary Use Permit     | <input type="checkbox"/> Other               |

FOR OFFICE USE ONLY

Date Received: <u>1/9/15</u>	File No. Assigned: <u>1-NB-15</u>	Fee Amount: <u>\$610.00</u>	Date Accepted as Complete:
Received By: <u>VM</u>	Receipt No. <u>021500</u>	Accepted By:	

City Hall  
169, SW Coast Hwy  
Newport, OR 97365  
541.574.0629






## City of Newport Land Use Application

I understand that I am responsible for addressing the legal criteria relevant to my application and that the burden of proof justifying an approval of my application is with me. I also understand that this responsibility is independent of any opinions expressed in the Community Development and Planning Department Staff Report concerning the applicable criteria.

I certify that, to the best of my knowledge, all information provided in this application is accurate.

 Applicant Signature(s)	1/7/15 Date
Property Owner Signature(s) (if other than applicant)	Date
Authorized representative Signature(s) (if other than applicant)	Date

Please note application will not be accepted without all applicable signatures.

Please ask staff for a list of application submittal requirements for your specific type of request.

DESIGN REVIEW DISTRICT # 1 -HISTORIC

NYE BEACH DESIGN REVIEW REQUIREMENTS

CPI Design Standard # 2. Requirements for hotel and motel commercial uses:

A)

For the purpose of applying for design review under the design standards, the proposed building(s) shall be no taller than 35 feet in height.

Buildings taller than 35 feet in height must apply for design review under the design guidelines.

***Noted***

B) The building (s) shall meet the multiple family design standards (A) – (J).

***Provided, see multiple family design standards (A) – (J) response below***

C) Each side of a building that is more than 50 linear feet shall comply with the multiple family design standard (B).

***Provided, see multiple family design standards (B) response below***

D)

If a separate building is proposed for an office and/or management dwelling unit, the building shall either meet 1) the requirements of A)-C) above as applicable or, 2) if the footprint is less than 1000 square feet, the requirements of the Single-family and Two Family Design Requirements.

***N/A***

CPI Design Standard # 3.

Requirements for windows on all commercial and public/institutional buildings:

A)

Large windows (20 square feet or more) along the main façade shall be

bracketed on each side by smaller windows (no more than 20 percent of the large window surface area). The tops and bottoms of the bracketing windows shall be level with the top and bottom of the large window. If the large window is curved or arched on top, the bracketing windows may continue the line of the curve or arch. If the large window contains multiple smaller (4 or more) panes (or has the appearance of multiple panes), the large window may be unbracketed. See Illustration # 7.

***Provided, see Arch sheet A.5***

B) Windows shall have a minimum of at least 3 inches of trim around the window except for the portion of the window, if any, that is shuttered.

***Provided, see Arch sheet A.5***

C) No windows on a ground floor level may be mirrored or reflective windows.

***Standard met***

CPI Design Standard # 4.

Requirements for exterior finish material on all commercial and public/institutional buildings:

A)

Plain concrete block, plain concrete, corrugated metal, plywood and sheet pressboard are not allowed as exterior finish material, except as secondary finishes if they cover no more than 10 percent of the surface area of each façade.

***Standard met***

CPI Design Standard # 5.

Requirements for main façade features:



A)

Where the main façade feature is required to be covered/roofed, the roofing material of the main façade feature shall be roofed to match (with the same material or a material that in color and appearance matches the main roofing material) the main roofing material if the roof is not a flat (no pitch) roof. The requirement to match roofing material does not apply if the roof is a flat (no pitch) roof or the roof is screened from view by a parapet wall.

***Provided, see Arch sheet A.5***

B)

Where the building contains an offset in the main façade, main façade feature depth may be measured from the interior main façade wall provided the interior wall length is at least 25% of the total main façade length and the main façade feature extends beyond the exterior main façade wall. See Illustration # 4 for an example.

***See MF Design Standard A) herein***

D.

#### ACCESSORY STRUCTURES (AS):

Accessory structures for which the design standards (AS DS # 1-3 as applicable) apply and the design standards are not elsewhere specified, must meet the following design standards or apply for design review under the design guidelines:

***N/A***

B.

#### MULTIPLE FAMILY (MF) DWELLINGS:

All multiple family dwellings (greater than 2 dwelling units) subject to design review are

required to either meet the design standards (MF DS # 1-4) identified below or to apply for design review under the design guidelines. If the proposed multiple family dwelling is to consist of a series of more than 2 attached row houses or townhouse dwelling units where the proposed units do not share a common roof, the applicant may choose to follow the requirements of the single-family-family design review criteria for each of the proposed units as a substitute for Design Standards # 1 (A)-(D) listed below.

Multiple-family (MF) Design Standards:

MF Design Standard # 1. All multiple-family dwellings (greater than 2 dwelling units) subject to design review under the design standards shall contain the following design features:

A)

The continuous horizontal distance as measured from end-wall to end-wall of individual buildings shall be less than 100 feet. Where multiple detached buildings are proposed, each building shall be separated by a minimum of 10 feet of landscaped area.

***Overall principal façade length is 138', modulation exceeds CPI Design Standard # 5 B) above.***

B)

The main front façade elevation of the building shall be divided into smaller areas or planes. See Illustration # 5 (top two illustrations) and Illustration # 6. When the front façade elevation is more than 500 square feet in area, the elevation must be divided into distinct planes of 500 square feet or less. For the purpose of this standard, areas of walls that are entirely separated from other wall areas by a projection, such as the porch or a roof over a porch, are also individual building wall planes. This division can be done by:

(1) A porch on the ground floor that is at least 4 feet wide or a balcony on a second floor that is at least 2 feet deep and is accessible from an interior room;

(2) A bay window or oriel window that extends at least 2 feet;

(3) Recessing a section of the façade by at least 2 feet for a length of at least 6 feet; and/or

(4) Projecting a section of the façade by at least 2 feet for a length of at least 6 feet.

***Provided per (3) above, see Arch sheet A.5 and Site and Floor plan sheets all levels.***

C) The roof of the primary structure that is either a gable roof with a slope of 5:12 to 12:12 or a hipped roof. Where the structure contains a roof width of more than 50 feet along the main façade, the roof shall be broken up into 25 foot or greater increments by dividing the roof frontage by 25 and creating approximately even increments (ie.  $80 / 25 = 3$  increments of approximately 26 feet). Each roof increment shall incorporate an offset on each roof increment from the following list. See Illustration # 5 (top two illustrations) and # 6 (bottom illustration). Where an applicable roof offset can be combined with a front façade offset (as identified in (B) above) in one feature, the property owner is allowed to do so.

(1) Cross gable with eaves overhanging on the front façade side.

(2) A roof offset of at least 2 feet.

(3) Distinct gable or hip roof for each increment.

***Modulation, roof slope of 7:12 provided, see Arch sheet A.5, all floor plan sheets***

D) Main entrance. For the purposes of this section, a main entrance is an entrance from outside the building that provides access to two or more



dwelling units or to a dwelling unit and a common area.

(1) The location of a main entrance for each primary building must face the street. On corner lots the main entrance may face either of the streets or be oriented to the corner. If the building is designed with multiple main entrances, only one of the main entrances must meet this requirement.

***Provided, see Arch sheet A.5 and Site and 1<sup>st</sup> Floor plan sheet.***

(2) A front porch is required at all of the main entrances that face a street. If the porch projects out from the building, it must have a roof. If the roof of a required porch is developed as a deck or balcony, it may be flat. The covered area provided by the porch must be at least 63 square feet and a minimum of 9 feet wide.

***Provided, see Arch sheet A.5 and Site and 1<sup>st</sup> Floor plan sheet.***

(3) For attached individual houses/dwelling units, a covered balcony on the same façade as the main entrance may be provided instead of a front porch. The covered portion of the balcony must be at least 48 square feet and a minimum of 8 feet wide. The floor of the covered balcony must be no more than 15 feet above grade, and must be accessible from the interior living space of the house.

***N/A***

E)

All street-facing elevations must have landscaping along their foundation. See Illustration # 6. The landscaped area may be along the outer edge of a porch instead of the foundation. The landscaping provided in this section shall be counted as part of the landscaping required by Section 2-4-5 of

the Zoning Ordinance (No. 1308, as amended). This landscaping requirement does not apply to portions of the building façade that provide access for pedestrians or vehicles to the building. The foundation landscaping must meet the following standards:

(1)

The landscaped area must be at least 5 feet wide;

(2)

There must be at least one three-gallon shrub for every 3 lineal feet of foundation; and

(3)

A tree of at least 6 foot in height must be planted in the landscaped area for every 25 feet lineal feet of foundation.

***Provided, see SP-1, L-1, L-2***

F)

The parking lot shall be located to the rear of the building's main facade. See Illustration # 6. An interior parking structure on a ground floor or lower floor can be utilized for off-street parking provided the access for the interior parking structure is from the side or rear of the building's main facade.

***Provided, see SP-1***

G)

Accessory structures such as storage buildings and garages shall be sided and roofed the same as the main structure. Roofs shall be a minimum of a 3:12 pitch with 12 inch eaves. No accessory structure located within 10 feet of a public right-of-way shall have a solid blank wall of more than 15

feet in length without providing for window(s) with a minimum of 10 square feet in area for every 15 feet in structure length located on the façade facing the public right-of-way.

**N/A**

H)

Recycling and trash collection areas if not located within the main building shall be located in an accessory structure or shall be screened by a sight-obscuring wood fence or evergreen hedge of at least 6 feet in height on at least 3 sides and all sides facing a public right-of-way.

**N/A**

I)

All permanent area lights including parking area lighting shall be full cutoff fixtures. Permanent exterior lights and landscaping lighting shall be recessed or shielded so that no light source is visible from a public right-of-way or adjacent property.

***Provided per future lighting plan on electrical permit plans***

J)

Mechanical equipment located on a roof shall be screened.

***Provided***

INN AT NYE BEACH  
729 NORTHWEST COAST STREET  
NEWPORT, OREGON 97365



BUILDING ANALYSIS

ZONING	• C-2N THE NYE BEACH OVERLAY
PROJECT DESCRIPTION	• 16 GUEST ROOM ADDITION • LOBBY ADDITION • NEW SPA BUILDING
NEW PROPOSED AREA	• 16 GUEST ROOM ADDITION - 4,416 SQ. FT. • LOBBY ADDITION - 308 SQ. FT. • LAUNDRY ADDITION - 368 SQ. FT. • SPA BUILDING - 1,947 SQ. FT.
BUILDING HEIGHT OF ADDITION	• 47'3"
TOTAL	• 16,375 SQ. FT.

SHEET INDEX

ARCHITECTURAL	
T-1	COVER SHEET
SP-1	SITE PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE PLAN
A-1	BASEMENT LEVEL PLAN
A-2	FIRST FLOOR PLAN
A-3	2ND & 3RD FLOOR PLANS
A-4	ROOF PLAN
A-5	BUILDING ELEVATIONS - EAST & WEST
A-6	BUILDING ELEVATIONS - NORTH
A-7	SPA BUILDING PLANS & ELEVATIONS
A-8	PERSPECTIVE RENDERING
A-9	PERSPECTIVE RENDERING
A-10	PERSPECTIVE RENDERING
A-11	PERSPECTIVE RENDERING
A-12	PERSPECTIVE RENDERING

VICINITY MAP



ARCHITECT:  
DALE JOHNSON  
209-860-1099  
209-860-1099

ENGINEER:  
DALE JOHNSON  
1234 1ST AVENUE EAST #101  
500 5th Street  
BEAVERTON, OR 97008

OWNER:  
NYE HOTEL, LLC  
1700 N. WASHINGTON PARKWAY  
SUITE 400  
BEAVERTON, OR 97008

DALE S. JOHNSON  
REGISTERED ARCHITECT  
CORPORATE SEAL  
NO. 39880

INN AT NYE BEACH ADDITION  
729 NORTHWEST COAST STREET  
NEWPORT, OREGON 97365

PROJECT PHASE:  
PLANNING SUBMITTAL

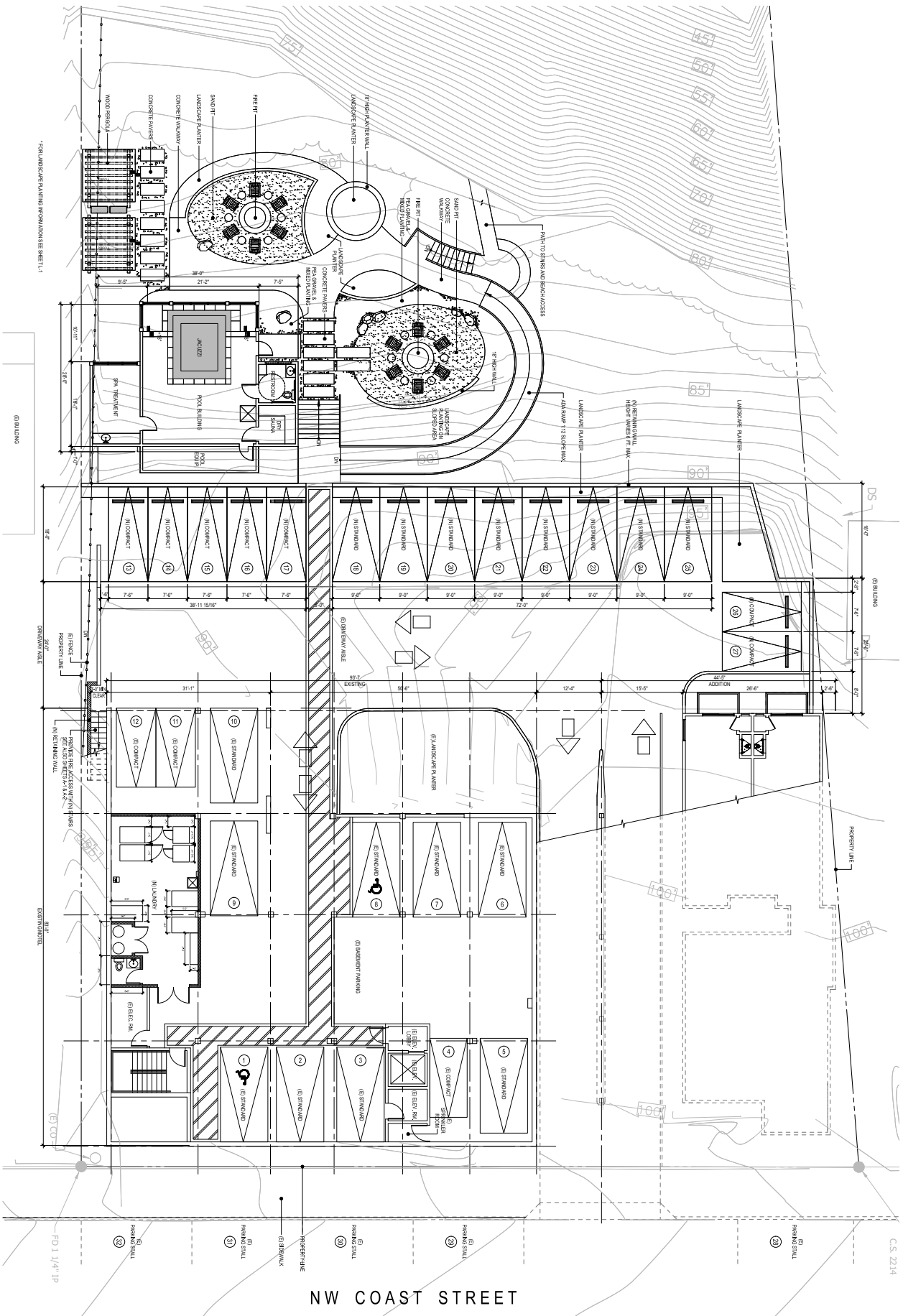
REVISIONS:

DATE:  
12/31/14

SCALE:

TITLE:  
COVER SHEET



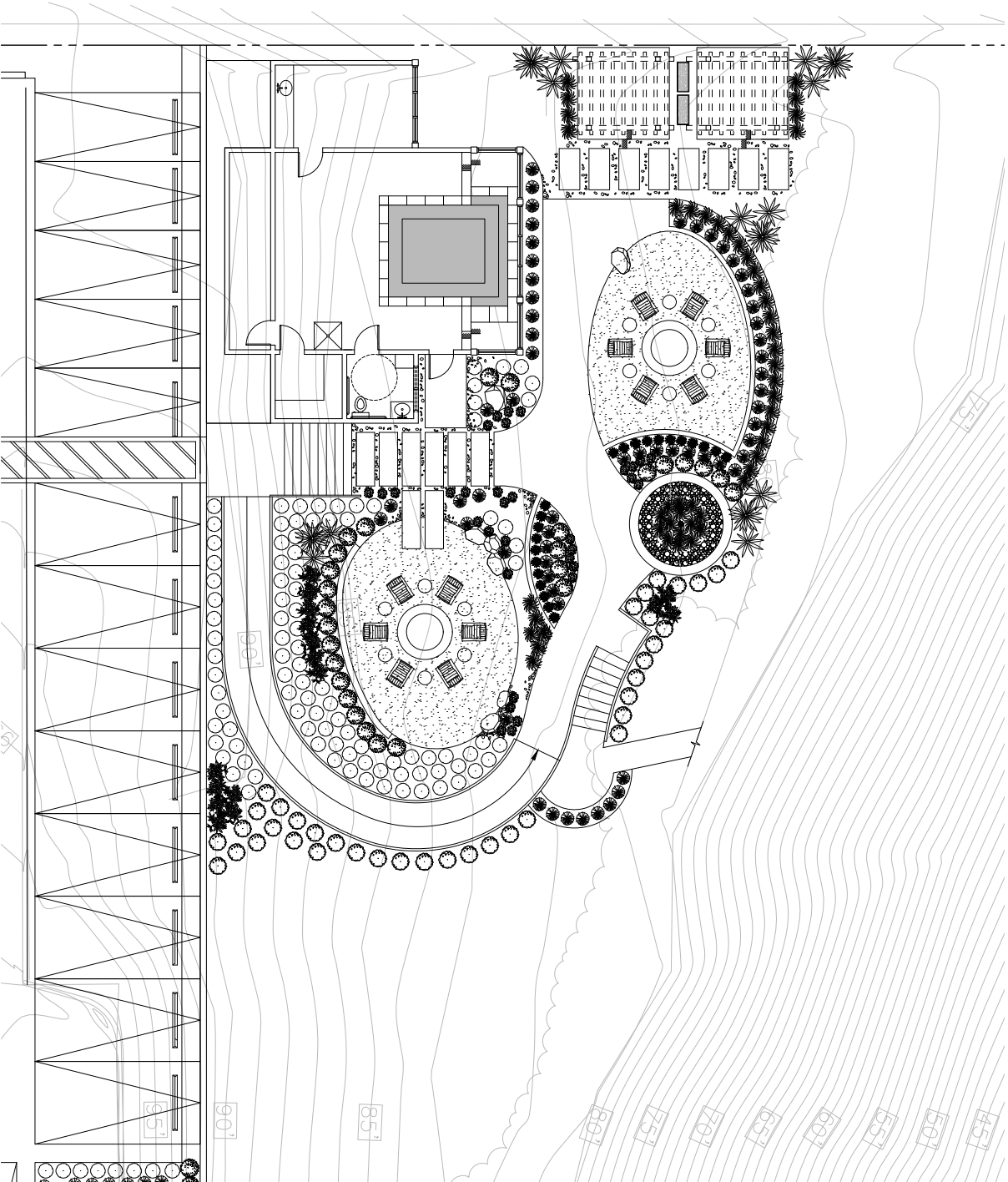


1 SITE PLAN



ARCHITECT: DALE JOHNSON 1231 4TH AVENUE EAST #101 COVINGTON, ALABAMA 36041 205-600-1099		REGISTERED ARCHITECT DALE JOHNSON STATE OF ALABAMA NO. 39896 EXPI. 12/31/2023		ENGINEER: DALE JOHNSON, INC. 1231 4TH AVENUE EAST #101 COVINGTON, ALABAMA 36041 205-600-1099		OWNER: NYE HOTEL, LLC 1231 4TH AVENUE EAST #101 COVINGTON, ALABAMA 36041 205-600-1099	
DATE: 12.31.14		SCALE: 1/8" = 1'-0"		TITLE: SITE PLAN		PROJECT PHASE: PLANNING STUDY	
REVISIONS:		PROJECT PHASE: PLANNING STUDY		INNOVATION IN THE ARTS 729 NORTHWEST COAST STREET NEWPORT, OREGON 97365		DATE: 12.31.14	
SP-1		SITE PLAN		DATE: 12.31.14		SCALE: 1/8" = 1'-0"	





ARCHITECT:  
DALE JOHNSON  
1234 5TH AVENUE EAST #101  
SEASIDE, OREGON 97138  
503.245.1234

ENGINEER:  
DALE JOHNSON  
1234 5TH AVENUE EAST #101  
SEASIDE, OREGON 97138  
503.245.1234

OWNER:  
THE JOHNSON GROUP  
1234 5TH AVENUE EAST #101  
SEASIDE, OREGON 97138  
503.245.1234

SYMBOL	BOTANICAL NAME	SIZE	QUANTITY
	COTINUS COGNIGNA 'ROYAL PURPLE'	16 GAL.	2

	PICEA CANADENSIS 'MILLERS BLUE'	5 GAL.	16
	PICEA CANADENSIS 'MILLERS BLUE'	5 GAL.	12
	PICEA CANADENSIS 'MILLERS BLUE'	5 GAL.	20
	PICEA CANADENSIS 'MILLERS BLUE'	5 GAL.	42
	PICEA CANADENSIS 'MILLERS BLUE'	5 GAL.	56
	PICEA CANADENSIS 'MILLERS BLUE'	5 GAL.	8
	PICEA CANADENSIS 'MILLERS BLUE'	5 GAL.	81
	PICEA CANADENSIS 'MILLERS BLUE'	5 GAL.	49
	PICEA CANADENSIS 'MILLERS BLUE'	5 GAL.	66
	PICEA CANADENSIS 'MILLERS BLUE'	5 GAL.	108
	PICEA CANADENSIS 'MILLERS BLUE'	5 GAL.	32

SYMBOL	BOTANICAL NAME	SIZE	QUANTITY
	SOLANUM ELAEAGNIFOLIUM	1 GAL.	2

	SOLANUM ELAEAGNIFOLIUM	1 GAL.	2
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INN AT NYE BEACH ADDITION  
729 NORTHWEST COAST STREET  
NEWPORT, OREGON 97365

PROJECT PHASE:  
PLANNING SUBMITTAL

REVISIONS:

DATE:  
12/31/14  
SCALE:  
3/8" = 1'-0"

TITLE:  
LANDSCAPE PLAN  
LOWER LEVEL

1 LANDSCAPE PLAN - LOWER LEVEL



L-1

ARCHITECT:  
DALE JOHNSON  
1233 4TH AVENUE EAST #101  
SEASIDE, OR 97138  
503-860-1099

ENGINEER:  
DALE JOHNSON  
1233 4TH AVENUE EAST #101  
SEASIDE, OR 97138  
503-860-1099

OWNER:  
NYE HOTEL LLC  
1233 4TH AVENUE EAST #101  
SEASIDE, OR 97138  
503-860-1099



INN AT NYE BEACH ADDITION  
729 NORTHWEST COAST STREET  
NEWPORT, OREGON 97365

PROJECT PHASE:  
PLANNING SUBMITTAL

REVISIONS:

DATE:  
12.31.14

SCALE:  
3/16" = 1'-0"

TITLE:

LANDSCAPE PLAN  
LOWER LEVEL

L-2

PLANTING LEGEND		
SYMBOL	BOTANICAL NAME	SIZE QUANTITY



LAGERHEDIA ALBERTIANA  
- PACIFIC MADROVER

36" BOX / 1

SHRUB LEGEND		
SYMBOL	BOTANICAL NAME	SIZE QUANTITY



COTYNE COCONUT ROYAL PALM  
- SHADE TREE

15 GAL. / 2



PHORAILIA DARK DELIGHT  
- NEW ZEALAND FLAX

6 GAL. / 16



PHORAILIA SANDWICH  
- NEW ZEALAND FLAX

6 GAL. / 12



SOLENOID CHALLENGER  
- GOLDENROD

6 GAL. / 20



LOUISIANA PLATANUS  
- BOX HOLESTOCK

6 GAL. / 42



PEROVSKIA ATROPICOROLA  
- PRUSSIAN SAGE

6 GAL. / 56



BERBERIS THUNBERGII  
- PURPLE BARBERRY

2 GAL. / 8



BERBERIS THUNBERGII  
- PURPLE BARBERRY

2 GAL. / 81



BERBERIS THUNBERGII  
- PURPLE BARBERRY

2 GAL. / 49



BERBERIS THUNBERGII  
- PURPLE BARBERRY

2 GAL. / 68



BERBERIS THUNBERGII  
- PURPLE BARBERRY

2 GAL. / 103



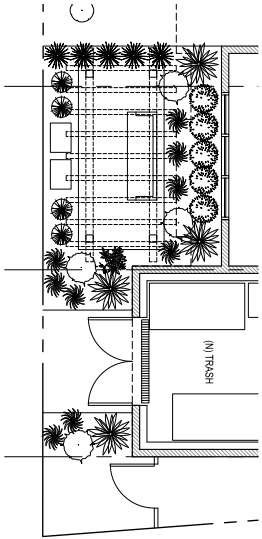
BERBERIS THUNBERGII  
- PURPLE BARBERRY

2 GAL. / 32

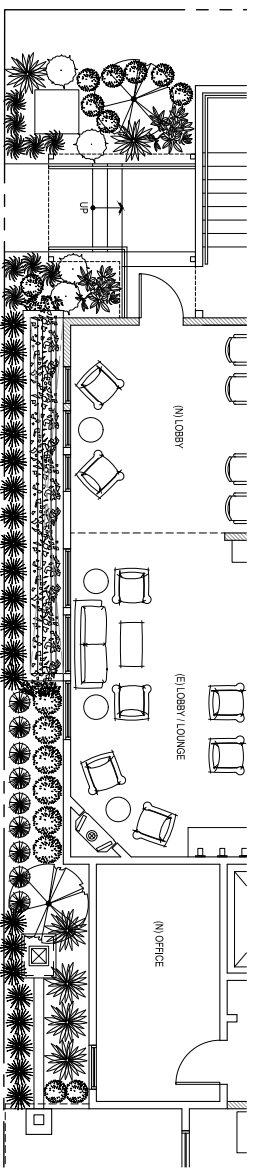


BERBERIS THUNBERGII  
- PURPLE BARBERRY

2 GAL. / 32



2 LANDSCAPE PLAN - BUILDING FRONTAGE



1 LANDSCAPE PLAN - BUILDING FRONTAGE



DALE B.  
JOHNSON  
COLEBURN, OREGON  
NO. 5990  
REGISTERED ARCHITECT  
STATE OF OREGON

OWNER,  
NYE HOTEL, LLC  
1915 NW AMBERGLEN PARKWAY  
SUITE 400  
BEAVERTON, OR 97006

ENGINEER:  
MC SQUARED, INC.  
1235 4TH AVENUE EAST #101  
OLYMPIA, WA 98505  
360-754-9339

**ARCHITECT:**  
DALE JOHNSON  
2200 WEST ROSEBUD LANE  
COEUR D'ALENE, ID 83814  
208-660-1099

REVISIONS:

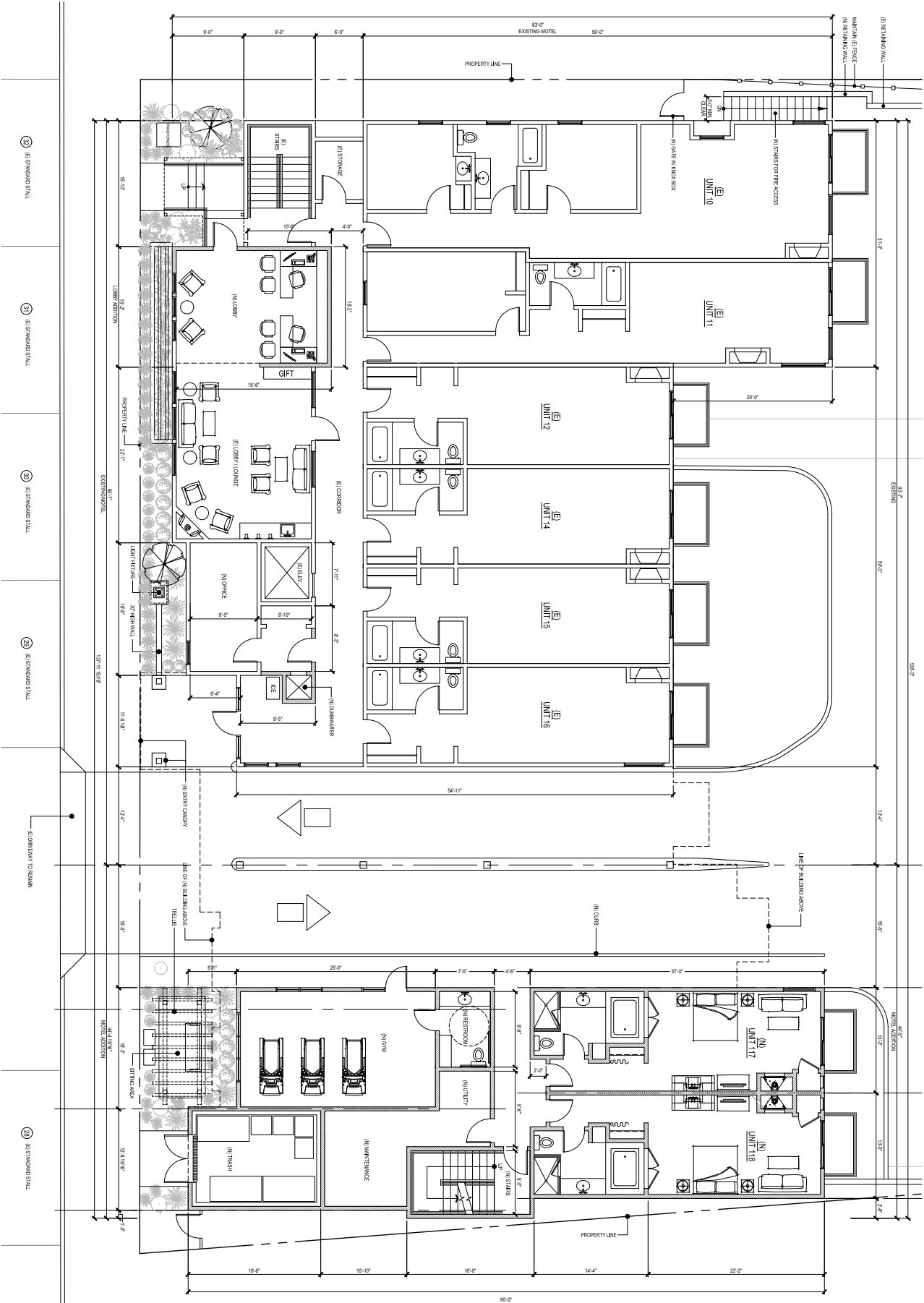
DATE:

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3/16" = 1'-0"

**TITLE:**

**BASEMENT PLAN**

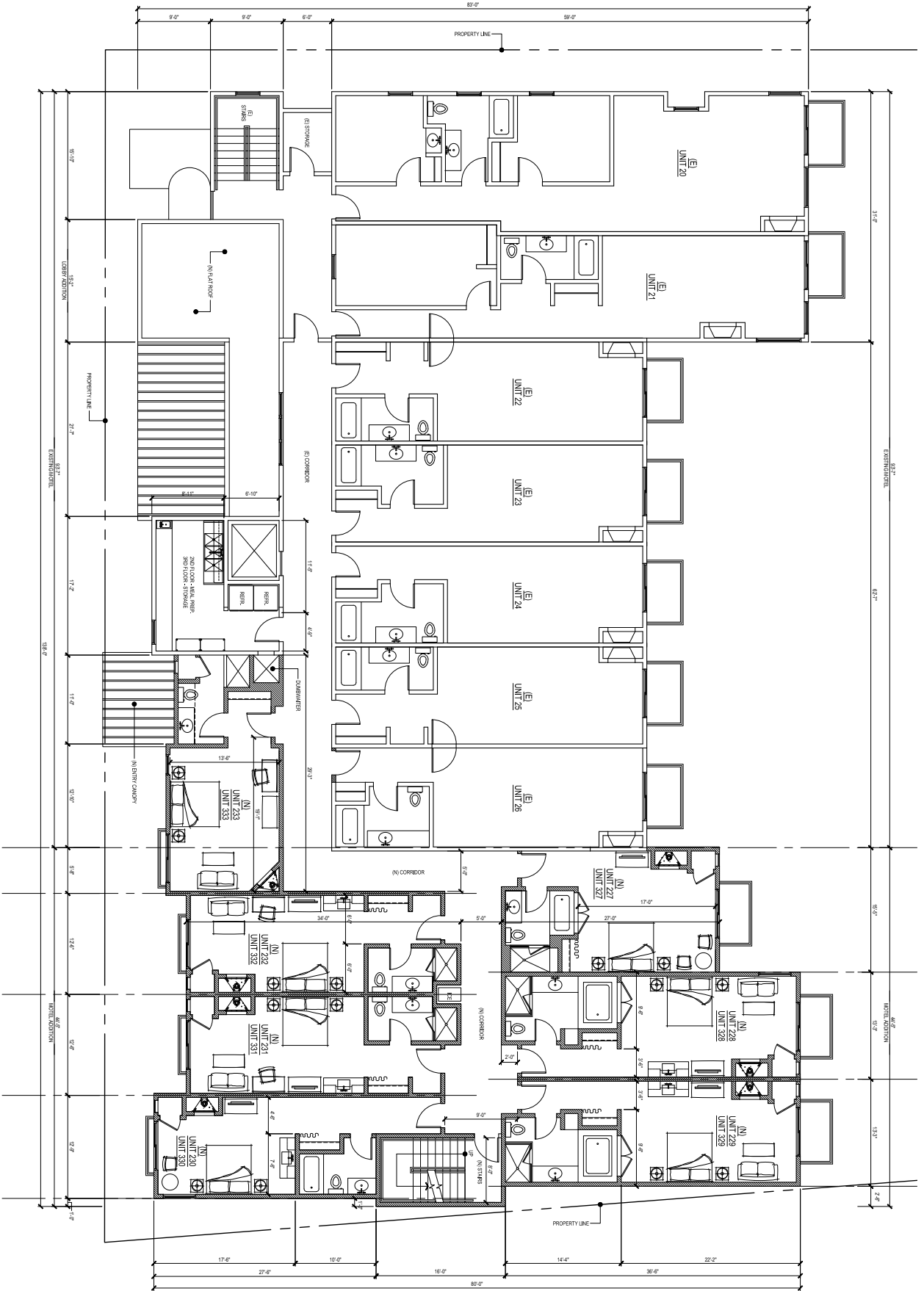
A-1



1 FIRST (GROUND) FLOOR PLAN



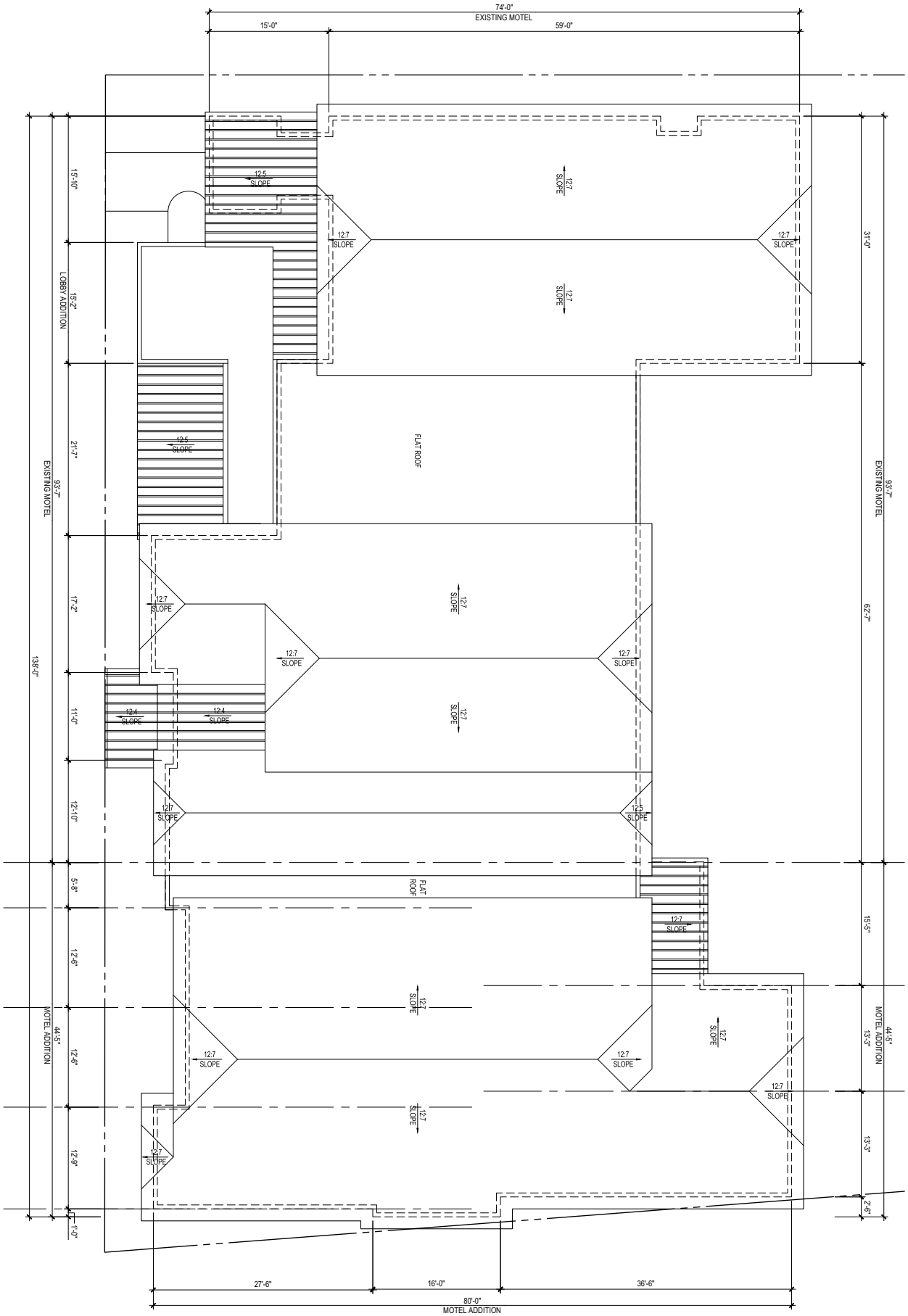
<p>ARCHITECT: DALE JOHNSON 1234 1ST AVE CORVALLIS, OR 97331 208-660-1099</p> <p>ENGINEER: DALE JOHNSON 1234 1ST AVE CORVALLIS, OR 97331 208-660-1099</p> <p>OWNER: NYE MOTEL, LLC 1234 1ST AVE CORVALLIS, OR 97331 208-660-1099</p>	<p>REGISTERED ARCHITECT DALE JOHNSON CORVALLIS, OR 97331 208-660-1099</p>	<p>PROJECT PHASE: PLANNING SUBMITTAL</p> <p>REVISIONS:</p> <p>DATE: 12/31/14</p> <p>SCALE: 3/8" = 1'-0"</p> <p>TITLE: FIRST FLOOR PLAN</p>	<p>INN AT NYE BEACH ADDITION 729 NORTHWEST COAST STREET NEWPORT, OREGON 97365</p>
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1 SECOND & THIRD FLOOR PLANS



<p>ARCHITECT: DALE JOHNSON 1233 4TH AVENUE EAST #101 SEASIDE, OREGON 97138 208-660-1099</p> <p>ENGINEER: DALE JOHNSON 1233 4TH AVENUE EAST #101 SEASIDE, OREGON 97138 208-660-1099</p> <p>OWNER: NIE HOTELS, LLC SUITE 400 1700 MARSHALLS GREEN PARKWAY BEAVERTON, OR 97006</p>	<p>REGISTERED ARCHITECT DALE JOHNSON CORPORATE SEAL NO. 59886 EXPIRATION DATE 12/31/2024</p>	<p>INN AT NYE BEACH ADDITION 729 NORTHWEST COAST STREET NEWPORT, OREGON 97365</p>	<p>PROJECT PHASE: PLANNING SUBMITTAL</p>	<p>REVISIONS:</p>	<p>DATE: 12/31/14</p> <p>SCALE: 3/8"=1'-0"</p> <p>TITLE: SECOND &amp; THIRD FLOOR PLANS</p>
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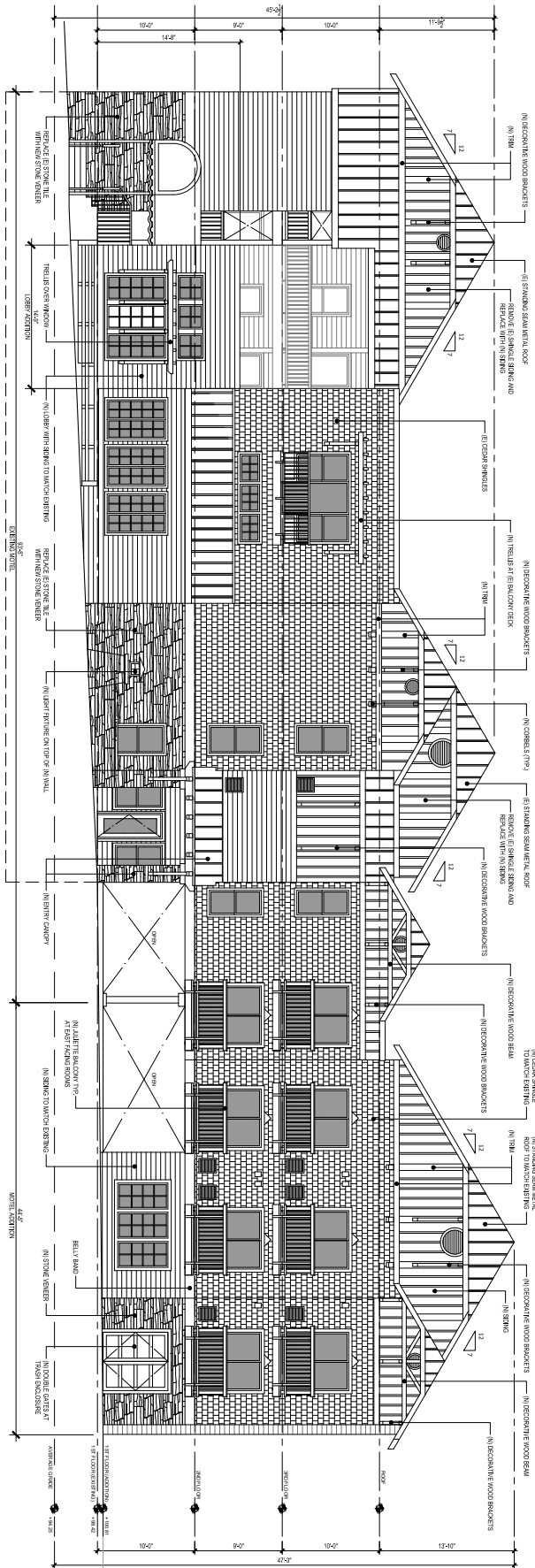


1 ROOF PLAN

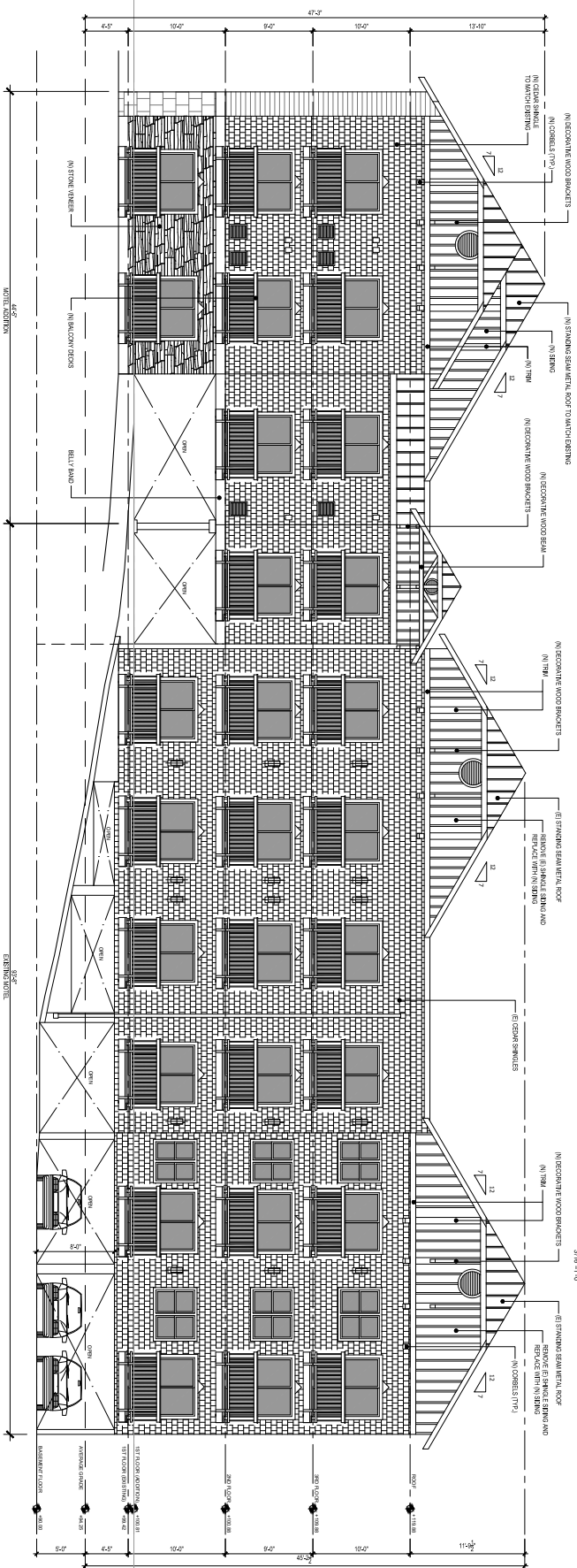


<p>ARCHITECT: DALE JOHNSON 208-660-1099</p> <p>ENGINEER: DALE JOHNSON 208-660-1099</p> <p>OWNER: NYE MOTEL, LLC 1236 4TH AVENUE EAST #101 SEASIDE, OR 97138</p>	<p>INN AT NYE BEACH ADDITION 729 NORTHWEST COAST STREET NEWPORT, OREGON 97365</p>	<p>PROJECT PHASE: PLANNING SUBMITTAL</p> <p>REVISIONS:</p> <p>DATE: 12/31/14</p> <p>SCALE: 3/8"=1'-0"</p> <p>TITLE: ROOF PLAN</p>	<p>A-4</p>
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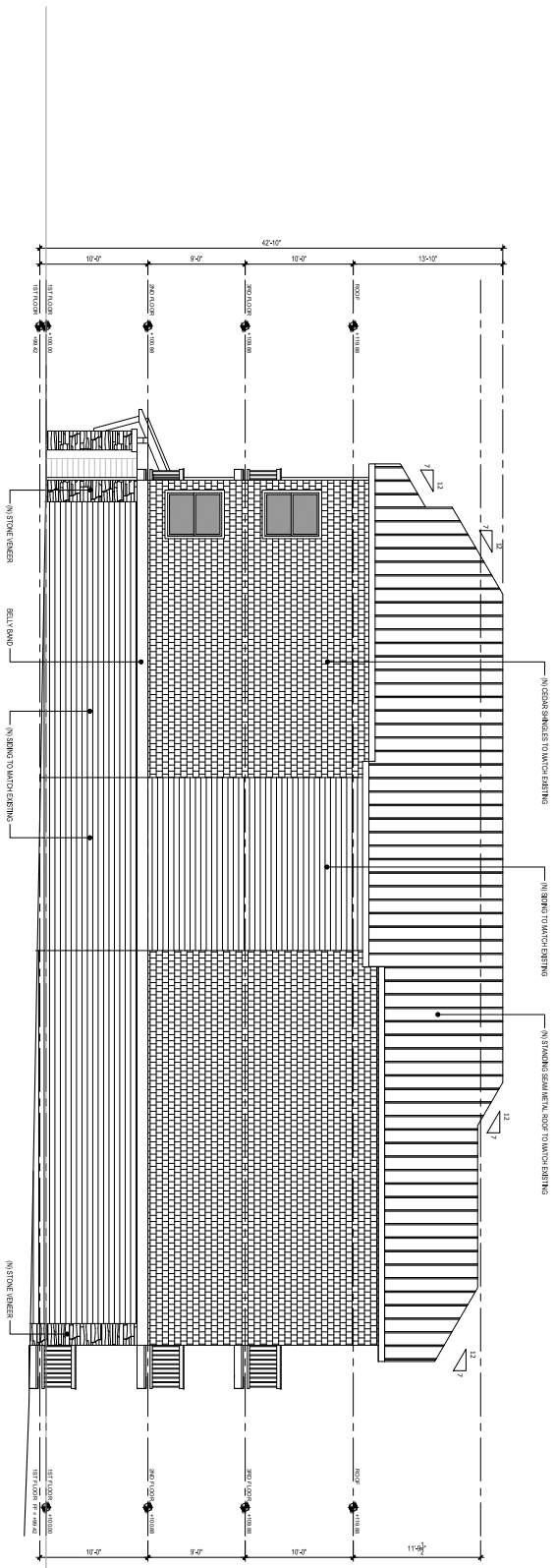


1 EAST ELEVATION (FACING STREET)



2 WEST ELEVATION (FACING BEACH)

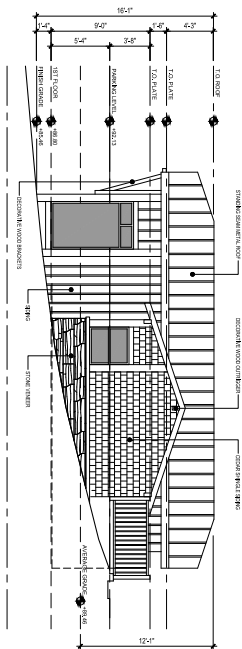
<p>ARCHITECT: DALE JOHNSON 1234 5TH AVENUE EAST #101 SEASIDE, OREGON 97138 503-744-4533</p> <p>ENGINEER: DALE JOHNSON 1234 5TH AVENUE EAST #101 SEASIDE, OREGON 97138 503-744-4533</p> <p>OWNER: NIE HOTELS, LLC SUITE 400 BEAVERTON, OREGON 97008</p> <p>DATE: 12/31/14</p> <p>SCALE: 3/8" = 1'-0"</p> <p>TITLE: EAST &amp; WEST ELEVATIONS</p>	<p>PROJECT PHASE: PLANNING SUBMITTAL</p> <p>REVISIONS:</p>	<p>INN AT NYE BEACH ADDITION 729 NORTHWEST COAST STREET NEWPORT, OREGON 97365</p>
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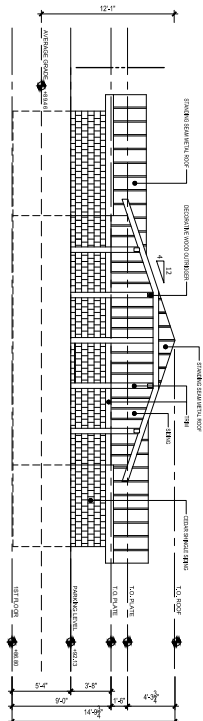
1 NORTH ELEVATION

<p>ARCHITECT: DALE JOHNSON DALE JOHNSON ARCHITECT, P.C. CORPORATE ALONE, ID 88914 208-860-1099</p> <p>ENGINEER: DALE JOHNSON, INC. 1234 1TH AVENUE EAST #101 500 5th Ave SW 500 5th Ave SW BEAVERTON, OR 97008</p> <p>OWNER: NYE HOTEL, LLC SUITE 400 1234 1TH AVENUE EAST #101 500 5th Ave SW BEAVERTON, OR 97008</p>	<p>REGISTERED ARCHITECT DALE S. JOHNSON CORPORATE ALONE, ID 88914 NO. 5000</p>	<p>INN AT NYE BEACH ADDITION 729 NORTHWEST COAST STREET NEWPORT, OREGON 97365</p>	<p>PROJECT PHASE: PLANNING SUBMITTAL</p> <p>REVISIONS:</p>	<p>DATE: 12.21.14</p> <p>SCALE: 3/16" = 1'-0"</p> <p>TITLE: NORTH ELEVATION</p>	<p>A-6</p>
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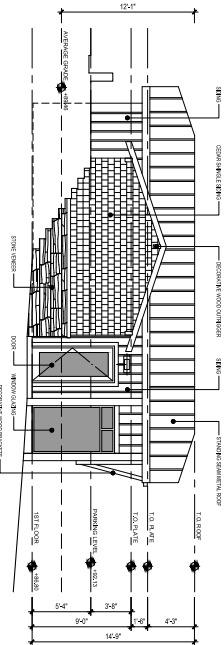




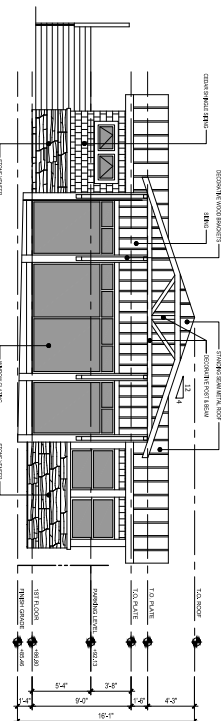
4 SOUTH ELEVATION (SIDE)



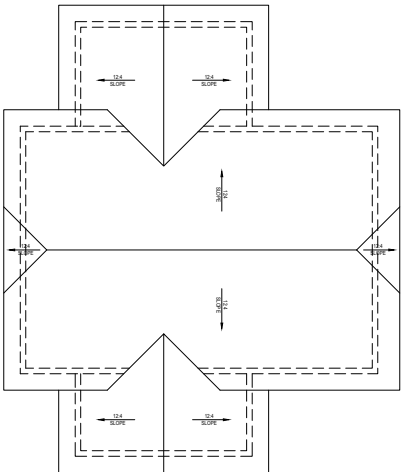
1 EAST ELEVATION (FACING PARKING LOT)



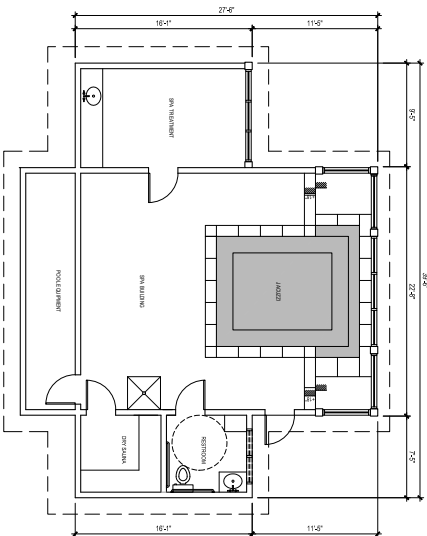
5 NORTH ELEVATION (SIDE)



2 WEST ELEVATION (FACING BEACH)



6 SPA BUILDING - ROOF PLAN



3 SPA BUILDING - FLOOR PLAN

ARCHITECT: DALE JOHNSON  
1234 1ST AVENUE EAST  
SUITE 400  
BEAVERTON, OR 97008  
503-660-1099

ENGINEER: NVE CONSULTING  
1234 1ST AVENUE EAST  
SUITE 400  
BEAVERTON, OR 97008  
503-660-1099

OWNER: NVE CONSULTING  
1234 1ST AVENUE EAST  
SUITE 400  
BEAVERTON, OR 97008



INN AT NYE BEACH ADDITION  
729 NORTHWEST COAST STREET  
NEWPORT, OREGON 97365

PROJECT PHASE:  
PLANNING SUBMITTAL

REVISIONS:

DATE:  
12.31.14

SCALE:  
3/16" = 1'-0"

TITLE:  
SPA BUILDING  
PLANS &  
ELEVATIONS

A-7



1 PERSPECTIVE FROM ACROSS THE STREET

<p>ARCHITECT: DALE JOHNSON 2200 G ST. SE SUITE 100 ALBUQUERQUE, NM 87106 505-262-1099</p> <p>ENGINEER: NIE HOTEL, LLC 1235 9TH AVENUE EAST #101 DALLAS, TX 75206 214-764-9339</p> <p>OWNER: NIE HOTEL, LLC 1235 9TH AVENUE EAST #101 SUITE 400 BEAVERTON, OR 97008</p>	<p>DALE B. JOHNSON REGISTERED ARCHITECT STATE OF OREGON NO. 3498</p>	<p>INN AT NYE BEACH ADDITION 729 NORTHWEST COAST STREET NEWPORT, OREGON 97365</p>	<p>PROJECT PHASE: PLANNING SUBMITTAL</p>	<p>REVISIONS:</p>	<p>DATE: 12.31.14</p> <p>SCALE:</p> <p>TITLE: PERSPECTIVE RENDERINGS</p>	<p>A-8</p>
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1 PERSPECTIVE FROM STREET FACING NORTH

ARCHITECT: DALE JOHNSON 2200 E 13TH AVENUE SUITE 400 NEWPORT, OREGON 97365 503-860-1099	ENGINEER: DALE JOHNSON 2200 E 13TH AVENUE SUITE 400 NEWPORT, OREGON 97365 503-860-1099	OWNER: INNE HOTEL, LLC 1225 6TH AVENUE EAST #101 SUITE 400 BEAVERTON, OR 97008	DATE: 12.31.14	SCALE: 1"=1'-0"	TITLE: PERSPECTIVE RENDERINGS	PROJECT PHASE: PLANNING SUBMITTAL	REVISIONS:	INN AT NYE BEACH ADDITION 729 NORTHWEST COAST STREET NEWPORT, OREGON 97365	DALE E. JOHNSON REGISTERED ARCHITECT STATE OF OREGON NO. 1998	A-9
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1 PERSPECTIVE FROM STREET FACING SOUTH

<p>ARCHITECT: DALE JOHNSON 200 E 13<sup>TH</sup> AVENUE NEWPORT, OREGON 97365 503-660-1099</p> <p>ENGINEER: DALE JOHNSON 1235 6TH AVENUE EAST #101 OLYMPIA, WA 98506 360-794-9329</p> <p>OWNER: NYE MOTEL, LLC 1100 N. AVENUE BEAVERTON, OR 97006</p>	<p>DALE B. JOHNSON REGISTERED ARCHITECT STATE OF OREGON NO. 1996</p>	<p>INN AT NYE BEACH ADDITION 729 NORTHWEST COAST STREET NEWPORT, OREGON 97365</p>	<p>PROJECT PHASE: PLANNING SCHEMATIC</p>	<p>REVISIONS:</p>	<p>DATE: 12.31.14</p> <p>SCALE:</p> <p>TITLE: PERSPECTIVE RENDERINGS</p>	<p>A-10</p>
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1 PERSPECTIVE FROM REAR PARKING LOT

<p>ARCHITECT: DALE JOHNSON 200 WEST COAST LANE NEWPORT, OREGON 97365 503-663-1099</p> <p>ENGINEER: DALE JOHNSON, INC. 1235 5TH AVENUE EAST #101 SEASIDE, OREGON 97138 503-738-8139</p> <p>OWNER: NYE MOTEL, LLC 1235 5TH AVENUE EAST SUITE 400 BEAVERTON, OR 97008</p>	<p>DALE E. JOHNSON REGISTERED ARCHITECT STATE OF OREGON NO. 1998 EXPIRATION DATE 12/31/14</p>	<p>INN AT NYE BEACH ADDITION 729 NORTHWEST COAST STREET NEWPORT, OREGON 97365</p>	<p>PROJECT PHASE: PLANNING SUBMITTAL</p>	<p>REVISIONS:</p>	<p>DATE: 12.31.14 SCALE: TITLE: PERSPECTIVE RENDERINGS</p>	<p>A-11</p>
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1 PERSPECTIVE FROM REAR PARKING LOT

<p>ARCHITECT: DALE JOHNSON 2200 E. ALICE LANE SCAMMOND, ALABAMA 36584 205-660-1099</p> <p>ENGINEER: DALE JOHNSON, INC. 1235 5TH AVENUE EAST #101 OLYMPIA, WA 98506 360-754-9339</p> <p>OWNER: NIE HOTEL, LLC 1717 N. WASHINGTON PARKWAY SUITE 400 BEAVERTON, OR 97008</p>	<p>DALE E. JOHNSON REGISTERED ARCHITECT • NO. 9999 STATE OF OREGON</p>	<p>INN AT NYE BEACH ADDITION 729 NORTHWEST COAST STREET NEWPORT, OREGON 97365</p>	<p>PROJECT PHASE: PLANNING SUBMITTAL</p>	<p>REVISIONS:</p>	<p>DATE: 12.31.14</p> <p>SCALE:</p> <p>TITLE: PERSPECTIVE RENDERINGS</p>	<p>A-12</p>
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**CITY OF NEWPORT**  
**NOTICE OF A REQUEST FOR DESIGN REVIEW AND CONDITIONAL USE PERMIT<sup>1</sup>**

**NOTICE IS HEREBY GIVEN** that a request has been filed for design review for a project within the Historic Nye Beach Design Review District under the Design Guidelines as follows:

**Applicant:** John Lee (Nye Hotel, LLC, property owner). **File Nos. 1-NB-15 / 1-CUP-15.**

**Request:** Consideration by the Planning Commission of a request for design review under the design guidelines for the Historic Nye Beach Design Review District to review the plans for the following development (identified as "Inn at Nye Beach"): Addition of 16 guest rooms, lobby, laundry, and new spa building.

**Location:** Assessor's Map 11-11-05-CC, Tax Lot 5600 (729 NW Coast St.).

**Applicable Criteria:** The development must be consistent with the design guidelines for commercial development established on pages 3 through 5 in the document entitled "Newport Design Review: Guidelines and Standards" dated November 10, 2003 (No. 2 through No. 9), which is incorporated by reference by Section 14.30.050 ("Adoption of Design Review: Guidelines and Standards" of the Newport Municipal Code (NMC) relating to the Historic Nye Beach Design Review District (HNBO)). Copies of the design guidelines are available at the Community Development (Planning) Department located in the Newport City Hall or on the City's website at [http://www.newportoregon.gov/dept/pln/documents/Appendix-F\\_Newport-Design-Review-Guidelines-and-Standards.pdf](http://www.newportoregon.gov/dept/pln/documents/Appendix-F_Newport-Design-Review-Guidelines-and-Standards.pdf). The criteria for the conditional use permit can be found in NMC Chapter 14.34.050: (1) The public facilities can adequately accommodate the proposed use; 2) the request complies with the requirements of the underlying zone or overlay zone; 3) the proposed use does not have an adverse impact greater than existing uses on nearby properties, or impacts can be ameliorated through imposition of conditions of approval; and 4) a proposed building or building modification is consistent with the overall development character of the area with regard to building size and height, considering both existing buildings and potential buildings allowable as uses permitted outright.

**Procedure/Testimony:** The proposed project requires design review and conditional use permit approval by the Planning Commission because the building exceeds 35 feet in height, which is the limit that can be approved ministerially by staff under the design standards. The design review request is for substantial reconstruction to enlarge a hotel (NMC 14.30.070(B)). Since the Planning Commission is the designated approval body, a Type III review is required. Similarly, a Type III Conditional Use Permit is also required because the structure's exterior dimension is over 100 feet in length (NMC 14.30.060(A)). Written comments must be submitted by 5:00 p.m. on Monday, February 23, 2015, to the Newport Community Development Department (address below in "Application Material/Reports") or else entered into the record during the course of the public hearing on February 23<sup>rd</sup> (location identified below in "Time/Place of Hearing"). Issues that may provide the basis for an appeal to the Land Use Board of Appeals shall be raised in writing prior to the expiration of the comment period (close of the February 23<sup>rd</sup> public hearing) and must be raised with sufficient specificity to enable the decision maker to respond to the issue. The review process at the Commission will be by public hearing. The Commission will review the request for compliance with the relevant design guidelines. If the Commission finds that the request complies with the relevant design guidelines, the request shall be approved. If the Commission finds that the request does not comply with the design guidelines, the Commission shall identify where the request does not meet the guidelines and may attach conditions of approval necessary to obtain compliance with the design guidelines so that the request can be approved. If the application cannot be made to comply with the design guidelines, the Commission may deny the request. The hearing will include a report by staff, testimony (both oral and written) from those in favor or opposed to the application, rebuttal by the applicant, and questions and deliberation by the Planning Commission. Notice of the decision will be provided to any person who makes written comments during the comment period.

**Application Material/Reports:** The application materials and the applicable criteria are available for inspection at no cost or copies may be purchased at this address. A copy of the staff report may be reviewed or a copy purchased at the

<sup>1</sup>This notice is being sent to affected property owners within 100 feet of the subject property (according to Lincoln County tax records), affected public/private utilities/agencies within Lincoln County, and affected city departments.

Newport Community Development (Planning) Department, City Hall, 169 SW Coast Hwy, Newport, Oregon 97365, generally seven days prior to the hearing.

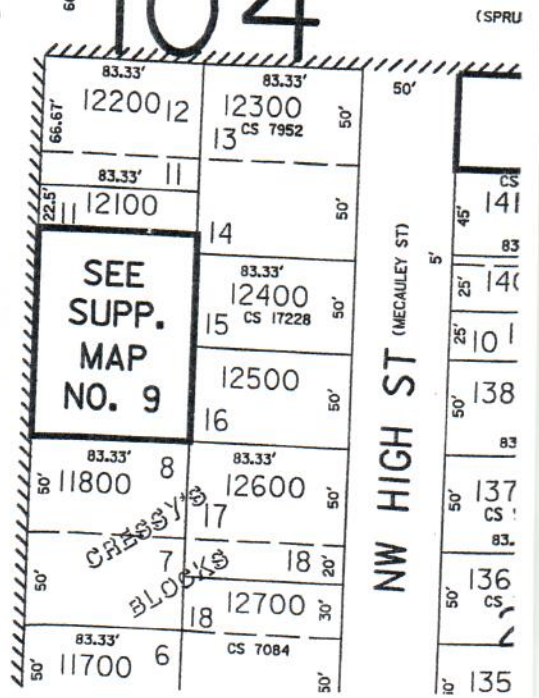
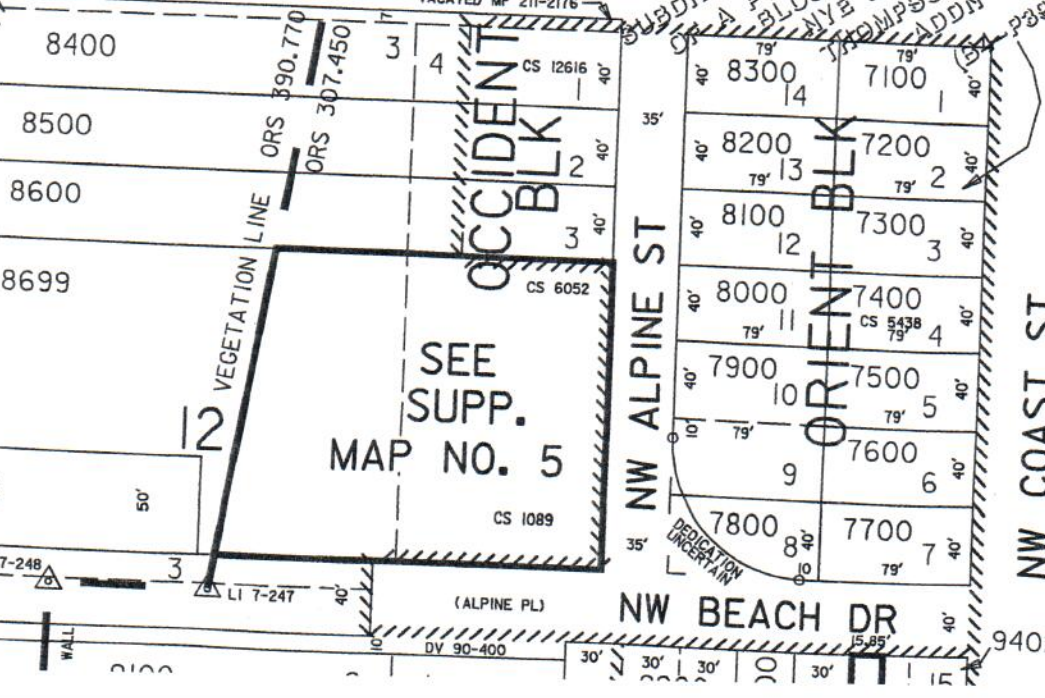
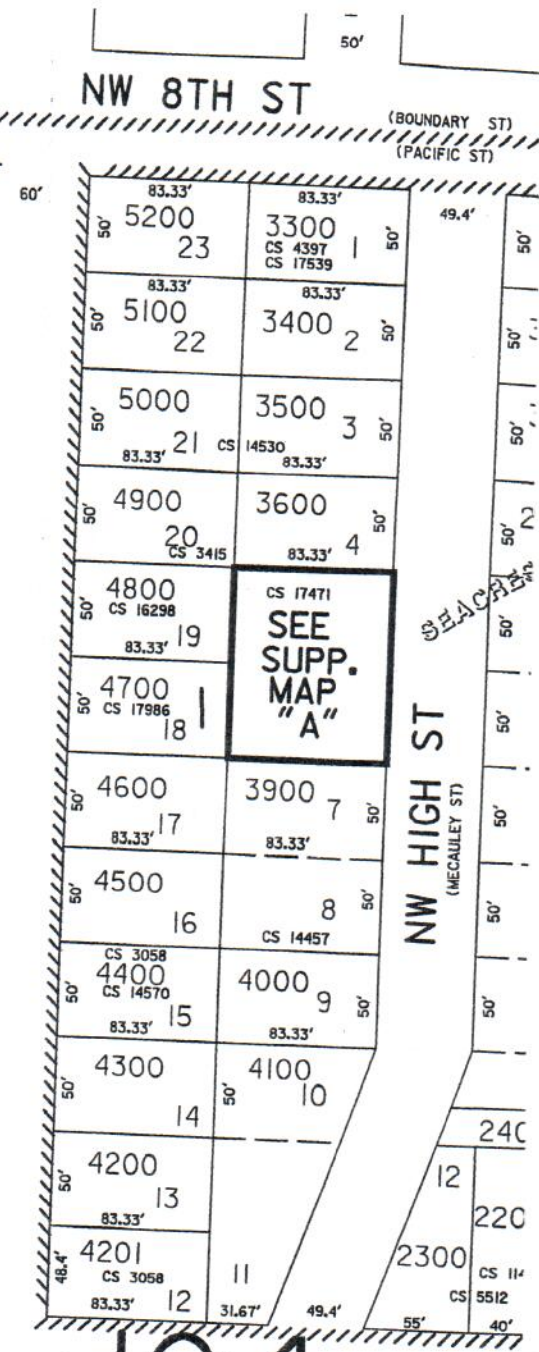
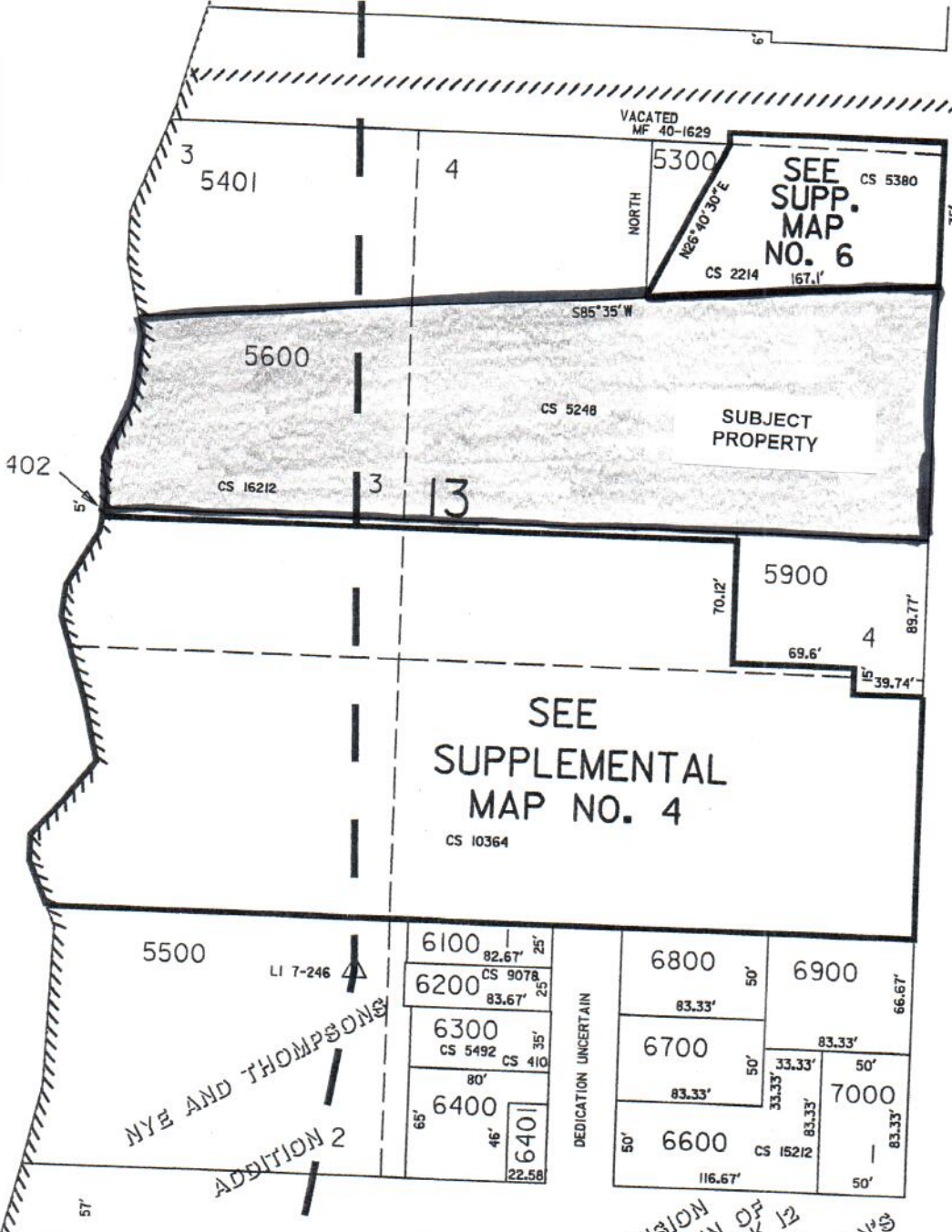
**Contact:** Derrick Tokos, Community Development Director, 169 SW Coast Hwy, Newport, OR 97365; phone (541) 574-0626; [d.tokos@newportoregon.gov](mailto:d.tokos@newportoregon.gov).

**Time/Place of Hearing:** Monday, February 23, 2014, 7:00 p.m.; City Hall Council Chambers, 169 SW Coast Hwy, Newport, OR 97365.

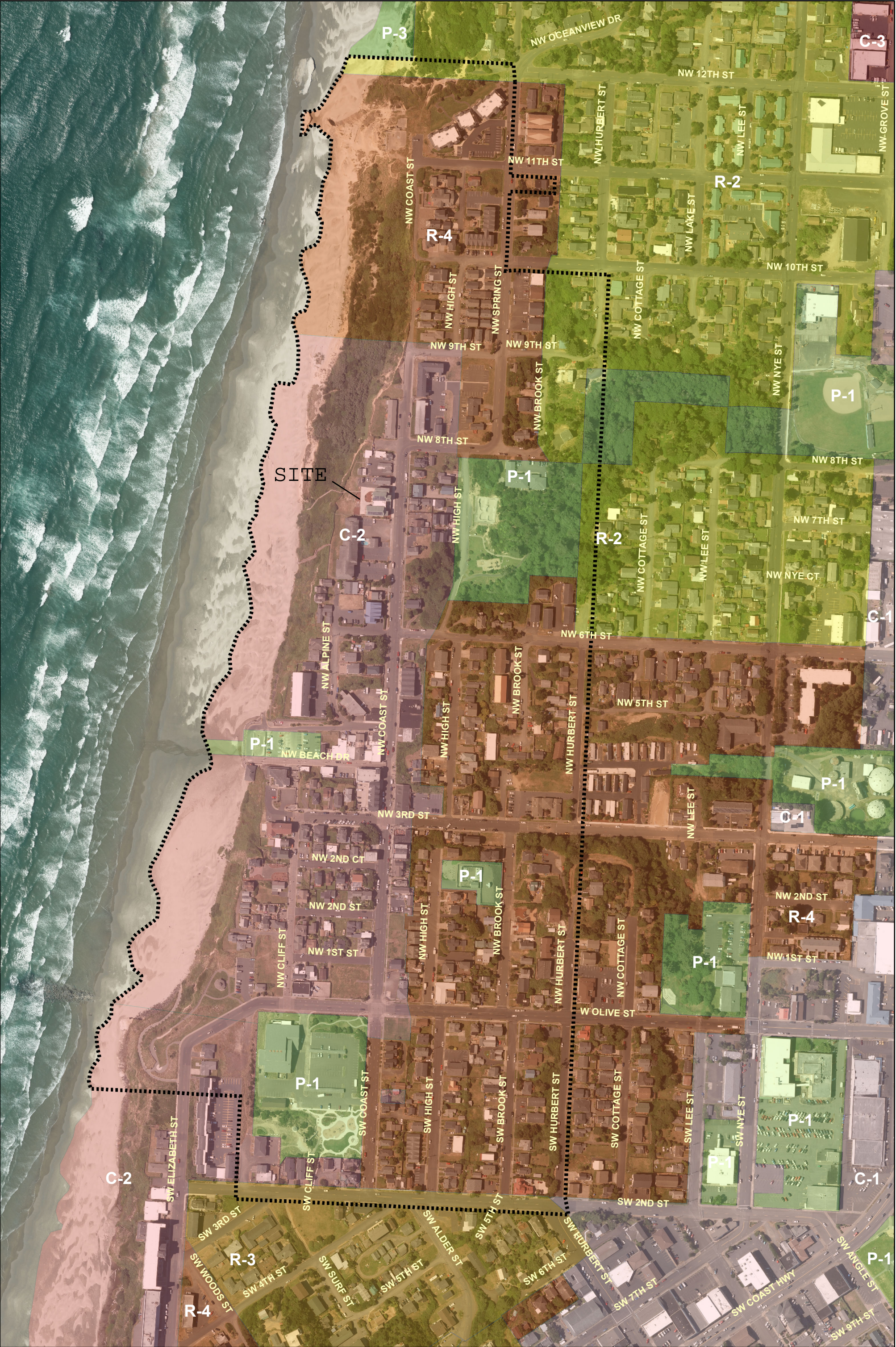
**Mailed:** January 21, 2015

**Published:** Friday, February 13, 2015; Newport News-Times.





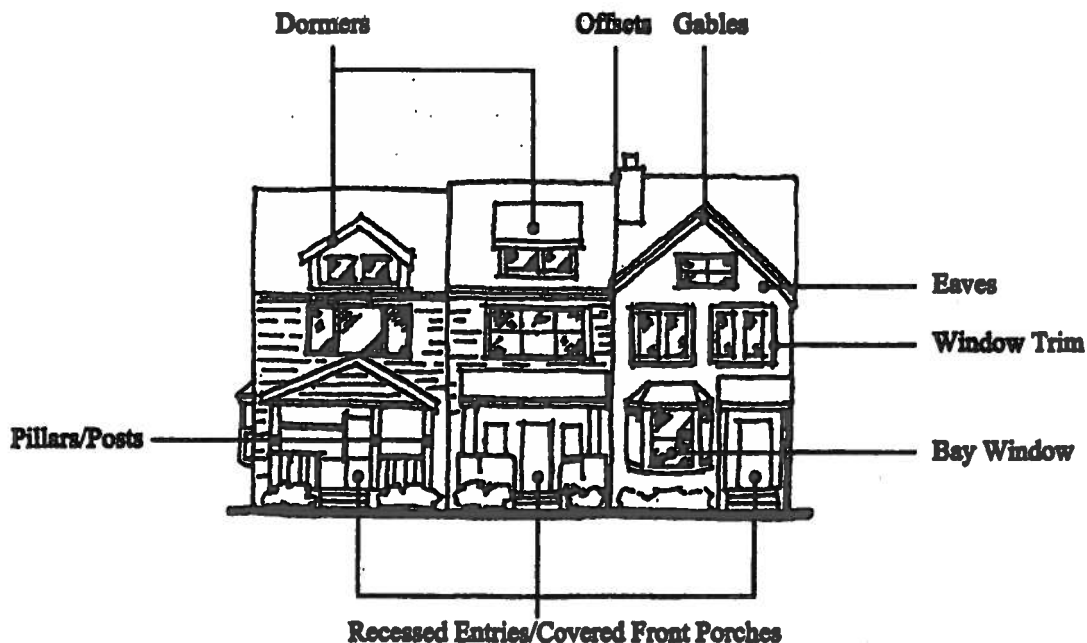






# ***NEWPORT DESIGN REVIEW: GUIDELINES AND STANDARDS***

***November 10, 2003***

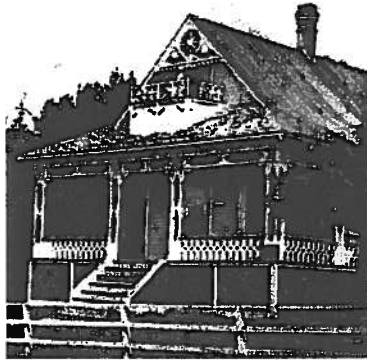


# **NEWPORT DESIGN REVIEW**

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*Starr Cottage*



*Nye Beach 1899*

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*Linger Longer Lodge*



*Nye Beach 1931*

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Illustration # 3	Various Examples of Features
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Illustration # 7	Commercial Buildings
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# **DESIGN REVIEW DISTRICT # 1**

## **HISTORIC NYE BEACH DESIGN REVIEW REQUIREMENTS**

### **I. INTRODUCTION:**

All new, substantially reconstructed, expanded, or relocated from outside of the district, single-family, multiple-family, commercial, and public/institutional building developments unless specifically exempted within the Historic Nye Beach Design Review District Overlay Zone are to be reviewed for compliance with the design review requirements established for the zone. Design review is implemented through either of two methods: 1) design guidelines or 2) design standards. The design guidelines are mandatory requirements of a general nature with which a proposed building must comply and applications are generally processed as a limited land use application requiring review after public notification. Alternatively, the design standards are mandatory requirements that are of a clear and objective nature and are reviewed in conjunction with an application for a building permit. The purpose of providing design guidelines and design standards is to guide development consistent with the purposes of the Historic Nye Beach Design Review District as defined in Section 2-14-16 of Ordinance No. 1308 (as amended) and to provide clarity to the process so that development consistent with the design review requirements can move forward with certainty and efficiency. While the design standards are not intended to discourage creativity and innovation in design, they are established to require incorporation of common elements and features deemed desirable by the community in the Nye Beach area. Freedom of expression in architectural design should be encouraged where it is compatible with the surrounding neighborhood and the character of Nye Beach. Projects requiring more flexibility than provided by the design standards may utilize the design guidelines to demonstrate a project's consistency with both the general purposes of the guidelines and the character of the immediate neighborhood. Unless specifically exempted by the zoning ordinance, the design standards and guidelines are standards required in addition to the requirements of the base zone.

The Nye Beach District is one of the districts identified by the Newport Comprehensive Plan as suitable for design review. The Newport Comprehensive Plan describes the Nye Beach District on pages 136d-136e:

The Nye Beach District is significant for the collection of cohesive architectural resources and landscape elements which reflect a working-class neighborhood. The area consists of wood frame buildings, 1 to 2 1/2 stories in height, covered with gable and hip roofs, and clad with clapboard, shingle and/or fire retardant siding. The landscape character of the area is defined by rock walls, terraces, sidewalks, and small front lawns. There are some small scale commercial buildings within this residential neighborhood which relate directly in building materials, scale, and massing to the character of the area. (Some changes have occurred in the neighborhood, including building alterations such as retardant siding materials and infill of non-compatible buildings on once vacant properties.) The Nye Beach sub-area is most important as a cohesive neighborhood, defined by the character of the vernacular buildings and the building/site relationship.

One intent of design review as applied to development within the district is to maintain the

cohesive architectural character of Nye Beach by incorporating common architectural design elements currently and historically found within the neighborhood without requiring strict adherence to a particular architectural style. A few of the architectural styles found currently and historically within the district which demonstrate its architectural character include the following (information on styles below from the Rosalind Clark/City of Albany, Architecture Oregon Style, Professional Book Center, Inc. Portland, OR (1983)):

The Bungalow and Craftsman style prevalent in the 1900-1925 period and features gable or hipped roofs, exterior chimneys of cobblestone or rough brick, rectangular composition with horizontal earth hugging quality, double-hung windows with small panes in the upper sash, large windows often flanked by two smaller windows on front façade, dormer windows with gable, hipped, or shed roof, wood-frame construction, porches, verandas, sunrooms, and sleeping porches often supported by tapered porch posts (truncated obelisks).

The Stick and Eastlake Style prevalent in the 1870-1900 period and features steeply pitched, multiple gable roofs (sometimes in combination with a hipped roof), verandas or porches, balconies featuring posts with diagonal braces, asymmetrical composition with vertical emphasis, one-over-one double-hung sash windows, bay windows, dormer windows, wood-frame construction with shiplap siding, matched siding with "stickwork" and paneling, decorative Eastlake elements such as rows of spindles and knobs, turned columns, latticework, circular perforations and cutouts, sunbursts, and curved brackets.

The Colonial and Georgian Style prevalent in the 1910-1935 period and features low pitched hipped, gable, or gambrel roofs, small chimney, bilateral symmetry, small paned rectangular windows often with shutters, dormer windows, fanlights and side lights with transoms, wood frame construction with six-inch or narrower weatherboard siding or shingles for the smaller Cape Cod cottages, decorative elements including columns in classical orders, pilasters, and broken and scrolled or swan's neck pediments.

This document entitled "Newport Design Review: Guidelines and Standards" and the design review requirements on the following pages have been adopted in Section 2-4-16.025 of Ordinance No. 1308 (as amended) as implementation tools for the ordinance. Conformance with the design review requirements is mandatory. Section 2-4-16 of Ordinance No. 1308 (as amended) contains additional information on when design review is required and how to apply for design review. A copy of that section of the ordinance should accompany this document. The design guidelines are intended to provide a general direction for development. The design standards are a method of implementing the broader design guidelines. The design guidelines must be consulted and an explanation of how the project meets the guidelines or why the guideline should not apply needs to be submitted when requesting design review under the design guidelines. For assistance in understanding the guidelines and standards, please consult the attached glossary and illustrations or contact the Community Development Department located at 169 SW Coast Highway, Newport, OR 97365 or (541) 574-0629.

**II. DESIGN GUIDELINES:** The following guidelines are mandatory for projects requiring design review in Design Review District # 1 (Historic Nye Beach Design Review District) and that do not qualify for review under the design standards:

**Design Guideline # 1.** For residential development, a cohesive architectural resource shall be maintained by emphasizing common roof types (such as steep pitched gable, multiple lower pitched gable, hip or other roof types) and by including in the design common main façade elements (such as porches, verandas, sunrooms and/or other architectural/design features as identified in the design standards or as documented to exist within the design review district). For multiple family development (greater than 2 units), trash collection areas shall be screened. *See Illustrations # 2, # 3, # 4, and # 5.*

**Design Guideline # 2.** Commercial buildings shall acknowledge the scale of the streetscape and shall contain architectural features to break up building facades to reflect appropriate human scale measurements with windows, doors, ornamentation, awnings, and similar design features. Commercial buildings (excluding portions of a hotel/motel where guest rooms are on the ground floor) shall emphasize the pedestrian orientation of retail shopping by utilizing banks of windows with multiple small windows (less than 20 square feet) and/or large windows with multiple panes along all sides abutting a public right-of-way. The contextual scale of new large commercial buildings over two stories shall be reduced by using horizontal or vertical divisions and stepped roof lines. Buildings greater than one story in height shall be designed with canopies, balconies, offsets in the building façade along each public right-of-way, or other architectural/design features that reduce the building's vertical emphasis. *See Illustrations # 7 and # 8.*

**Design Guideline # 3.** Roof slopes on commercial projects shall be between 5:12 and 12:12 unless there is a flat roof with parapet. Mechanical equipment shall be screened and integrated into the roof design. Roof shapes shall be compatible with the neighborhood. A standing seam is recommended for metal roofs. Gable and hip roof forms are recommended. Parapet walls shall be integrated into the building. *See Illustration # 7.*

**Design Guideline # 4.** In commercial areas, commercial buildings shall abut the front property line. Allowable exceptions to the requirement to abut the front property line include areas where the existing buildings adjacent to the property are set back from the property line, where a pedestrian oriented feature such as a courtyard, patio, landscaped area with seating or outdoor café seating is included, or where severe topography or an easement precludes the building abutting the front property line. Commercial buildings shall abut a side yard property line where possible except to allow access for parking, the side abuts a zoning district which requires a side yard, or a setback is required for ocean front lots. Gaps in building walls shall be avoided except for pedestrian and parking access, or a pedestrian oriented feature such as a courtyard, patio, landscaped area with seating or outdoor café seating is included. Front and side yard setbacks, where they exist, shall be fully landscaped or shall provide a pedestrian oriented feature as described previously. Trash collection areas shall be screened. *See Illustrations # 7 and # 8.*



**Design Guideline # 5.** Buildings shall generally be compatible in design and appearance with other buildings in close proximity by including similar types of architectural features and materials. Where the surrounding buildings predominately do not include architectural features found in the design standards, the proposed building subject to design review shall include architectural features that are common to the district as identified in the design standards or by findings documenting similar architectural features found within the design review district. Where the surrounding buildings predominately do not include architectural features found in the design standards or in the design review district, innovation and creativity in design may be allowed consistent with the design guidelines. *See Illustrations # 7 and # 8.*

**Design Guideline # 6.** Where appropriate and necessary to promote the pedestrian orientation of the streetscape, building orientation shall be towards the frontage street(s) with entrances facing the street(s). An entrance facing the frontage street shall be included where appropriate and necessary to promote the pedestrian orientation of the streetscape for commercial, institutional, public, and multiple family residential (with three or more units) buildings. Buildings shall provide variety in building shape, height, roof lines, setbacks, and design features consistent with the design guidelines. *See Illustrations # 5, # 6, # 7, and # 8.*

**Design Guideline # 7.** Commercial and multiple family residential (greater than 2 dwelling units) projects shall not be shaped by off-street parking. On-site parking shall be at the rear or side of the building or below street grade underneath the building with access via alleys or interior streets unless, based on review of the project, the review authority determines that topography such as steep slopes precludes side or rear parking. Parking garages shall complement the main building by using similar architectural details as the main building. Shared parking facilities are allowed and are encouraged. Views of parking areas from adjacent residential and commercial uses shall be softened through the use of landscaping. Pedestrian movement shall be clearly defined. *See Illustrations # 6 and # 9.*

**Design Guideline # 8.** Pedestrian circulation for commercial projects is necessary to maintain the walking environment of Nye Beach. Linkages between adjoining uses shall be provided. Pedestrian circulation routes shall be continuous and integrated into the larger pedestrian circulation network. Specialty paving is encouraged. *See Illustrations # 6 and # 9.*

**Design Guideline # 9.** Exterior permanent lighting for commercial projects shall be restrained by using lighting features that minimize the impact of lighting such as full-cut off fixtures, low wattage bulbs, and/or recessed or shielded lighting, such that no light source is visible from a public right-of-way or adjacent property. Areas used extensively at night shall only be illuminated to the extent necessary for safety and security. On-site lighting shall be related to the site and retained on the site by directing the light downward, recessing the light, and/or shielding the light. Lighting fixtures shall complement the architectural character of the building. If landscape lighting is used, the

landscape lighting shall be restrained by using lighting techniques (ie. recessing the light, shielding the light, using low wattage bulbs) that minimize the impact of light. The use of light poles similar in appearance to the light poles installed as part of the Nye Beach Streetscape Project is acceptable for parking lot lighting and other lighting for which a light pole is used.

### **III. DESIGN STANDARDS (For Design Review District #1: Historic Nye Beach):**

#### **A. SINGLE-FAMILY (SF) AND TWO-FAMILY (T) DWELLINGS:**

All single-family and two-family dwellings subject to design review are required to either meet the design standards (SFT DS # 1-4) identified below or to apply for design review under the design guidelines.

#### **Design Standards (DS):**

**SFT Design Standard # 1. Requirement for roofs, main façade features, and other common design elements.** All single-family and two-family dwellings subject to design review under the design standards are required to have at least one element from Element A (Roofs) and at least two elements from Element B (Main Façade Features) on the main façade or as specified.

A) **ELEMENT A. Roofs (See Illustration # 2).** All roof types shall contain eaves and rakes with a minimum 12 inch projection and be one of the following:

- (1) Low-pitched (between 3:12 and 5:12) gable roof(s) with two or more distinct (minimum of 10 foot width along the façade and 5 foot of depth with a separate roof line) low-pitched gable roof elements on the main dwelling. *See Illustration # 4.*
- (2) High-pitched gable roof(s) between 6:12 and 12:12.
- (3) Hipped roof(s).
- (4) Gambrel roof(s).
- (5) A combination of two or more of the above roofs where the proposed dwelling has multiple distinct roof lines of more than 10 feet (measured from eave to eave) for each roof line.

B) **ELEMENT B. Main Façade Features (at least two features are required).**

*See Illustrations # 2, # 3, and # 4 for examples.*

- (1) A covered porch (open-walled) that is a minimum of 5 feet deep from the front wall of the dwelling to the enclosing porch rail and running at least 75% of the length of the main façade of the dwelling with an elevated porch floor at least 2 feet off the ground.

- (2) A veranda (covered porch or balcony) a minimum of 5 feet deep from the front wall of the dwelling running along the entire length of the main façade of the dwelling.
- (3) A sun room (a room projecting from the main façade of the dwelling at least 8 feet for a length of at least 50 % of the length of the main façade and with a separate roofline from the main roof) that contains at least 75% of the front façade surface (measured from 2 feet above the floor of the room to the top of the wall) of the room in windows.
- (4) Covered front entry porch that is a minimum of 5 feet deep from the front wall of the dwelling to the enclosing porch rail and a minimum of 5 feet wide.
- (5) Portico (at least 5 feet deep and with a length of at least 50% of the length of the main façade) with exposed rafters, exposed purlins or decorative brackets.
- (6) Columned porch with balustrade that is a minimum of 5 feet deep from the front wall of the building to the enclosing porch rail and extending at least 75 % of the length of the main façade.
- (7) Projecting porch a minimum of 5 feet deep and 10 feet wide supporting an uncovered second-story balcony (which is accessible from the interior living space of the dwelling) on columns with one or more decorative Eastlake elements such as rows of spindles and knobs, turned columns, lattice wall, circular perforations and cutouts, sunbursts, or curved brackets.
- (8) Projecting porch a minimum of 5 feet deep and 10 feet wide supporting a covered second-story balcony (which is accessible from the interior living space of the dwelling) where the covered second-story balcony contains at least one of the following items:
  - (A) A roof line separate and distinct from the main roof line by an offset of at least 2 feet.
  - (B) A minimum of at least 3 exposed rafters, purlins or decorative brackets.
- (9) Exterior (from grade to above the roof/eave line) chimney of either cobblestone or rough brick.
- (10) Exposed rafters (a minimum of 10 rafter ends) on the main facade. *See Illustration # 3.*
- (11) A minimum of 3 exposed purlins on each side of the main roof that is exposed by a gable.
- (12) A minimum of 3 decorative brackets on each side of the main roof that is exposed by a gable. *See Illustrations # 3 and # 4.*
- (13) Horizontal weatherboard or clapboard siding composed of boards with a reveal of 3 to 6 inches, or vinyl or aluminum siding that is in a clapboard or weatherboard pattern where the boards in the pattern are 6 inches or less in width or have an exposure of 6 inches or less.

- (14) Shake, rake shake, cedar shingle siding or siding that simulates that shake or shingle appearance on all exterior walls.
- (15) A belt course (8 inch minimum width) running around the entire building and located along the top of the main floor windows that divides the building into two areas with horizontal/beveled siding below the belt course and shake/shingle siding above the belt course. Where more than one floor is proposed, the belt course may start at the top of the windows on the second floor or anywhere between the top of the main floor windows and the bottom of the second floor windows provided there exists at least 5 feet of wall from the top of the windows to the roof. If 5 feet of wall does not exist, the belt course may run along the base of the second story windows and the top of the main floor windows. *See Illustration # 3.*
- (16) Dormer (*see Illustration # 2*) of at least 3 feet in width and 2 feet of depth (at least one point of the dormer must measure 2 feet out from the roof) with one of the following dormer roof types facing the direction of the main facade:
  - a) Gable roof.
  - b) Hipped roof.
  - c) Shed roof.
- (17) A cupola located along the main façade or at the corner of the main facade.
- (18) A bay window or oriel window extending more than 2 feet from the building wall located along the main façade or at the corner of the main facade. *See Illustration # 5 (top illustration).*
- (19) Offset(s) in the building face of a minimum of 16 inches for a minimum of 10 feet on the main façade of the dwelling. *See Illustrations # 1 and # 2.*
- (20) A covered porch, veranda, or sunroom with a distinct roof from the main roof (with the same roof materials) projecting at least 5 feet from a side building wall for a length of at least 10 feet along the wall and that begins within 10 feet of the main façade wall. *See Illustration # 3 (bottom illustration).*

**SFT Design Standard # 2.** Requirements for windows.

- A) Large windows (20 square feet or more) along the main façade shall be bracketed on each side by smaller windows (no more than 20 percent of the large window surface area). The tops and bottoms of the bracketing windows shall be level with the top and bottom of the large window. If the large window is curved or arched on top, the bracketing windows may continue the line of the curve or arch. If the large window contains multiple smaller (4 or more) panes (or has the appearance of multiple panes), the large window may be unbracketed. *See Illustrations # 3*

- (bottom illustration) and # 5 (bottom illustration).
- B) Windows shall have a minimum of at least 3 inches of trim around the window except for the portion of the window, if any, that is shuttered. *See Illustration # 3 (bottom illustration).*

**SFT Design Standard # 3.** Requirements for exterior finish material:

- A) Plain concrete block, plain concrete, corrugated metal, plywood and sheet pressboard are not allowed as exterior finish material, except as secondary finishes if they cover no more than 10 percent of the surface area of each façade.

**SFT Design Standard # 4.** Requirements for main façade features (Element list B):

- A) Where the main façade feature is required to be covered/roofed, the roofing material of the main façade feature shall be roofed to match (with the same material or a material that in color and appearance matches the main roofing material) the main roofing material if the main façade feature roof is not a flat (no pitch) roof.
- B) Where the building contains an offset in the main façade, main façade feature depth may be measured from the interior main façade wall provided the interior wall length is at least 25% of the total main façade length and the main façade feature extends beyond the exterior main façade wall. *See Illustration # 4 for an example.*

**B. MULTIPLE FAMILY (MF) DWELLINGS:**

All multiple family dwellings (greater than 2 dwelling units) subject to design review are required to either meet the design standards (MF DS # 1-4) identified below or to apply for design review under the design guidelines. If the proposed multiple family dwelling is to consist of a series of more than 2 attached row houses or townhouse dwelling units where the proposed units do not share a common roof, the applicant may choose to follow the requirements of the single-family-family design review criteria for each of the proposed units as a substitute for Design Standards # 1 (A)-(D) listed below.

**Multiple-family (MF) Design Standards:**

**MF Design Standard # 1.** All multiple-family dwellings (greater than 2 dwelling units) subject to design review under the design standards shall contain the following design features:

- A) The continuous horizontal distance as measured from end-wall to end-wall of individual buildings shall be less than 100 feet. Where multiple detached buildings are proposed, each building shall be separated by a minimum of 10 feet of landscaped area.

B) The main front façade elevation of the building shall be divided into smaller areas or planes. *See Illustration # 5 (top two illustrations) and Illustration # 6.* When the front façade elevation is more than 500 square feet in area, the elevation must be divided into distinct planes of 500 square feet or less. For the purpose of this standard, areas of walls that are entirely separated from other wall areas by a projection, such as the porch or a roof over a porch, are also individual building wall planes. This division can be done by:

- (1) A porch on the ground floor that is at least 4 feet wide or a balcony on a second floor that is at least 2 feet deep and is accessible from an interior room;
- (2) A bay window or oriel window that extends at least 2 feet;
- (3) Recessing a section of the façade by at least 2 feet for a length of at least 6 feet; and/or
- (4) Projecting a section of the façade by at least 2 feet for a length of at least 6 feet.

C) The roof of the primary structure that is either a gable roof with a slope of 5:12 to 12:12 or a hipped roof. Where the structure contains a roof width of more than 50 feet along the main façade, the roof shall be broken up into 25 foot or greater increments by dividing the roof frontage by 25 and creating approximately even increments (ie.  $80 / 25 = 3$  increments of approximately 26 feet). Each roof increment shall incorporate an offset on each roof increment from the following list. *See Illustration # 5 (top two illustrations) and # 6 (bottom illustration).* Where an applicable roof offset can be combined with a front façade offset (as identified in (B) above) in one feature, the property owner is allowed to do so.

- (1) Cross gable with eaves overhanging on the front façade side.
- (2) A roof offset of at least 2 feet.
- (3) Distinct gable or hip roof for each increment.

D) Main entrance. For the purposes of this section, a main entrance is an entrance from outside the building that provides access to two or more dwelling units or to a dwelling unit and a common area.

- (1) The location of a main entrance for each primary building must face the street. On corner lots the main entrance may face either of the streets or be oriented to the corner. If the building is designed with multiple main entrances, only one of the main entrances must meet this requirement.
- (2) A front porch is required at all of the main entrances that face a street. If the porch projects out from the building, it must have a roof. If the roof of a required porch is developed as a deck or

- balcony, it may be flat. The covered area provided by the porch must be at least 63 square feet and a minimum of 9 feet wide.
- (3) For attached individual houses/dwelling units, a covered balcony on the same façade as the main entrance may be provided instead of a front porch. The covered portion of the balcony must be at least 48 square feet and a minimum of 8 feet wide. The floor of the covered balcony must be no more than 15 feet above grade, and must be accessible from the interior living space of the house.
- E) All street-facing elevations must have landscaping along their foundation. *See Illustration # 6.* The landscaped area may be along the outer edge of a porch instead of the foundation. The landscaping provided in this section shall be counted as part of the landscaping required by Section 2-4-5 of the Zoning Ordinance (No. 1308, as amended). This landscaping requirement does not apply to portions of the building façade that provide access for pedestrians or vehicles to the building. The foundation landscaping must meet the following standards:
- (1) The landscaped area must be at least 5 feet wide;
  - (2) There must be at least one three-gallon shrub for every 3 lineal feet of foundation; and
  - (3) A tree of at least 6 foot in height must be planted in the landscaped area for every 25 feet lineal feet of foundation.
- F) The parking lot shall be located to the rear of the building's main facade. *See Illustration # 6.* An interior parking structure on a ground floor or lower floor can be utilized for off-street parking provided the access for the interior parking structure is from the side or rear of the building's main facade.
- G) Accessory structures such as storage buildings and garages shall be sided and roofed the same as the main structure. Roofs shall be a minimum of a 3:12 pitch with 12 inch eaves. No accessory structure located within 10 feet of a public right-of-way shall have a solid blank wall of more than 15 feet in length without providing for window(s) with a minimum of 10 square feet in area for every 15 feet in structure length located on the façade facing the public right-of-way.
- H) Recycling and trash collection areas if not located within the main building shall be located in an accessory structure or shall be screened by a sight-obscuring wood fence or evergreen hedge of at least 6 feet in height on at least 3 sides and all sides facing a public right-of-way.
- I) All permanent area lights including parking area lighting shall be full cut-off fixtures. Permanent exterior lights and landscaping lighting shall be recessed or shielded so that no light source is visible from a public right-of-way or adjacent property.
- J) Mechanical equipment located on a roof shall be screened.



**MF Design Standard # 2.** Requirements for windows on all multiple family buildings and accessory buildings with windows or requiring windows:

- A) Large windows (20 square feet or more) along the main façade shall be bracketed on each side by smaller windows (no more than 20 percent of the large window surface area). The tops and bottoms of the bracketing windows shall be level with the top and bottom of the large window. If the large window is curved or arched on top, the bracketing windows may continue the line of the curve or arch. If the large window contains multiple smaller (4 or more) panes (or has the appearance of multiple panes), the large window may be unbracketed. *See Illustrations # 3 (bottom illustration) and # 5 (bottom illustration).*
- B) Windows shall have a minimum of at least 3 inches of trim around the window except for the portion of the window, if any, that is shuttered. *See Illustration # 3 (bottom illustration).*

**MF Design Standard # 3.** Requirements for exterior finish material on all multiple-family buildings:

- A) Plain concrete block, plain concrete, corrugated metal, plywood and sheet pressboard are not allowed as exterior finish material, except as secondary finishes if they cover no more than 10 percent of the surface area of each façade.

**MF Design Standard # 4.** Requirements for main façade feature on all multiple family dwellings:

- A) Where the main façade feature is required to be covered/roofed, the roofing material of the main façade feature shall be roofed to match the main roofing material with the same material or a material that in color and appearance matches the main roofing material if the main façade feature roof is not a flat (no pitch) roof.
- B) Where the building contains an offset in the main façade, main façade feature depth may be measured from the interior main façade wall provided the interior wall length is at least 25% of the total main façade length and the main façade feature extends beyond the exterior main façade wall. *See Illustration # 4 for an example.*

**C. COMMERCIAL (C) AND PUBLIC/INSTITUTIONAL (P/I) BUILDINGS:**

All principle commercial and public/institutional buildings subject to design review are required to either meet the design standards (CPI DS #1-5 as applicable) identified below or to apply for design review under the design guidelines.

**Commercial and Public/Institutional (CPI) Design standards.** Commercial and public/institutional buildings shall meet the following standards:

**CPI Design Standard # 1.** Requirements for commercial and public/institutional uses excluding hotel/motel uses:

- A) For the purpose of applying for design review under the design standards, the proposed building shall be no taller than 35 feet in height. Buildings taller than 35 feet in height must apply for design review under the design guidelines.
- B) For the purpose of applying for design review under the design standards, the proposed building shall have less than 40 feet of building footprint along the frontage street. Buildings with a footprint of 40 feet or more along the frontage street must apply for design review under the design guidelines.
- C) The proposed building meets the requirements of the Single-family and Two-family Design Standards including one of Element A (Roofs) and three of Element B (Main Façade Features). Commercial buildings may also choose from the following additional elements in meeting the Element B (Main Façade Feature) requirement:
  - (1) A canopy of at least 3 feet in depth running along a minimum of 75 % of the entire main façade of the building between 8 feet and 12 feet above grade.
- D) Required off street parking is provided at the rear of the building, on one side of the building only (with the parking lot beginning no closer to the street than the front façade of the building), at a shared parking lot located within 200 feet of the building, or participation in the payment in lieu of parking program or a Council approved parking district.
- E) All permanent area lights including parking area lighting shall be full cut-off fixtures. Permanent exterior lights and landscaping lighting shall be recessed or shielded so that no light source is visible from a public right-of-way or adjacent property.
- F) Where the building has frontage on more than one public right-of-way, the second façade shall also contain a design feature of Element B (Main Façade Features) of the Single-family and Two-family Design Standards.

**CPI Design Standard # 2.** Requirements for hotel and motel commercial uses:

- A) For the purpose of applying for design review under the design standards, the proposed building(s) shall be no taller than 35 feet in height. Buildings taller than 35 feet in height must apply for design review under the design guidelines.

- B) The building (s) shall meet the multiple family design standards (A) – (J).
- C) Each side of a building that is more than 50 linear feet shall comply with the multiple family design standard (B).
- D) If a separate building is proposed for an office and/or management dwelling unit, the building shall either meet 1) the requirements of A)-C) above as applicable or, 2) if the footprint is less than 1000 square feet, the requirements of the Single-family and Two Family Design Requirements.

**CPI Design Standard # 3.** Requirements for windows on all commercial and public/institutional buildings:

- A) Large windows (20 square feet or more) along the main façade shall be bracketed on each side by smaller windows (no more than 20 percent of the large window surface area). The tops and bottoms of the bracketing windows shall be level with the top and bottom of the large window. If the large window is curved or arched on top, the bracketing windows may continue the line of the curve or arch. If the large window contains multiple smaller (4 or more) panes (or has the appearance of multiple panes), the large window may be unbracketed. *See Illustration # 7.*
- B) Windows shall have a minimum of at least 3 inches of trim around the window except for the portion of the window, if any, that is shuttered.
- C) No windows on a ground floor level may be mirrored or reflective windows.

**CPI Design Standard # 4.** Requirements for exterior finish material on all commercial and public/institutional buildings:

- A) Plain concrete block, plain concrete, corrugated metal, plywood and sheet pressboard are not allowed as exterior finish material, except as secondary finishes if they cover no more than 10 percent of the surface area of each façade.

**CPI Design Standard # 5.** Requirements for main façade features:

- A) Where the main façade feature is required to be covered/roofed, the roofing material of the main façade feature shall be roofed to match (with the same material or a material that in color and appearance matches the main roofing material) the main roofing material if the roof is not a flat (no pitch) roof. The requirement to match roofing material does not apply if the roof is a flat (no pitch) roof or the roof is screened from view by a parapet wall.
- B) Where the building contains an offset in the main façade, main façade feature depth may be measured from the interior main façade wall provided the interior wall length is at least 25% of the total main façade length and the main façade feature extends beyond the exterior main

façade wall. *See Illustration # 4 for an example.*

#### **D. ACCESSORY STRUCTURES (AS):**

Accessory structures for which the design standards (AS DS # 1-3 as applicable) apply and the design standards are not elsewhere specified, must meet the following design standards or apply for design review under the design guidelines:

##### **Accessory Structure (AS) Design Standards:**

**AS Design Standard # 1.**      Roofs of accessory structures must be either

- A)      Gable with a minimum of 3:12 pitch.
- B)      Hip, or
- D)      Gambrel.

**AS Design Standard # 2.**      Requirements for exterior finish materials on all accessory structure façades:

- A)      Plain concrete block, plain concrete, corrugated metal, plywood and sheet pressboard are not allowed as exterior finish material, except as secondary finishes if they cover no more than 10 percent of the surface area of each façade. Composite boards manufactured from wood or other products, such as hardboard or hardplank, may be used when the board product is 6 inches or less in width or has an exposure (reveal) of 6 inches or less.
- B)      Where horizontal siding is used, it must be shiplap or clapboard siding composed of boards with a reveal of 3 to 6 inches, or vinyl or aluminum siding which is in a clapboard or shiplap pattern where the boards in the pattern are 6 inches or less in width.

**AS Design Standard # 3.**      Where a proposed accessory structure is also proposed to be a dwelling unit, the structure must contain two design feature on the main façade from Element B (Main Façade Features) of the Single-family Residential list above. For the purposes of this section, the main façade of an accessory structure dwelling unit is the façade that is the same direction as the main façade of the principle building. In the case of a lot with frontage on more than one public right-of-way, an accessory structure dwelling unit located within 20 feet of a public right-of-way shall have the building wall closest to the right-of-way as the main façade. If more than one main façade is possible because the property is bounded by multiple rights-of-way, the property owner shall pick the main façade from among the possible choices.

# Newport Design Review Glossary and Illustrations

*Many of the architectural illustrations adapted from the City of Eugene Planning and Development Historic Preservation Program and from other sources.*

## Architectural & Design Review Terms

**Arch.** A construction technique and structural member, usually curved and made of masonry. Composed of individual wedge-shaped members that span an opening and support the weight above by resolving vertical pressure into horizontal or diagonal thrust.



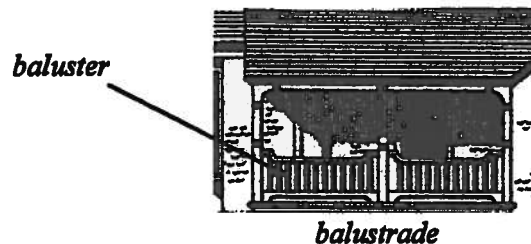
**Architrave.** The lowest part of an entablature, or the molded frame above a door or window opening.

**Balcony.** A platform projecting from the wall or window of a building, usually enclosed by a railing.

**Baluster.** Any of the small posts that support the upper rail of a railing, as in a staircase.

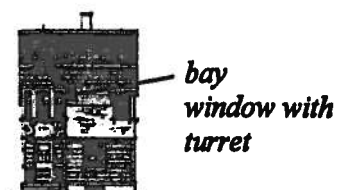
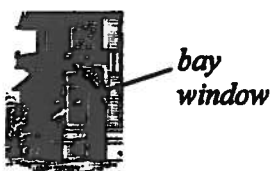


**Balustrade.** An entire railing system including a top rail and its balusters, and sometimes a bottom rail.



**Bargeboard.** See "vergeboard" definition.

**Bay window.** A projecting bay with windows that forms an extension to the interior floor space. On the outside, the bay should extend to ground level, in contrast to an oriel window, which projects from the wall plane above ground level.



**Belt course.** A horizontal ornamentation that often provided a division between siding styles.  
*See Illustration # 3.*

**Board-and-batten siding.** Vertical siding made up of alternating wide and thin boards where the thin boards cover the joints between the wide boards.

**Bracket.** A small projection, usually carved or decorated, that supports or appears to support a projecting eave or lintel.



**Capital.** The topmost member, usually decorated, of a column or pilaster.

**Casement window.** A window that is hinged on the side and opens in or out.



**Chimney pot.** A decorative masonry element placed at the top of a chimney, common on Queen Anne and Tudor Revival buildings.



**Clapboards.** Narrow, horizontal, overlapping wooden boards that form the outer skin of the walls of many wood-frame houses. In older houses, the exposure (the exposed area of each board not overlapped by another board) ranges from four to six inches.

**Column.** A vertical shaft or pillar usually circular in section that supports, or appears to support, a capital, load beam or architrave.

**Corbel.** A projection from a masonry wall, sometimes supporting a load and sometimes for decorative effect.

**Corbeled cap.** The termination of a brick chimney that projects outward in one or more courses.



**Corner board.** A board which is used as trim on the external corner of a wood-frame structure and against which the ends of the siding are fitted.

**Cornice.** The exterior trim of a structure at the meeting of the roof and wall; usually consists of bed molding, soffit, fascia, and crown molding. *See Illustration # 8 (top illustration).*

**Course.** In masonry, a layer of bricks or stones running horizontally in a wall. *See also "belt course."*



**Cresting.** Decorative grillework or trim applied to the ridge crest of a roof. Common on Queen Anne style buildings.



**Cross gable.** A gable that is perpendicular to the main axis or ridge of a roof.



**Cupola.** A small, sometimes domed structure surmounting a roof. Found mainly on Italianate and Colonial Revival buildings.

**Dentil molding.** A molding composed of small rectangular blocks run in a row.

**Dormer.** A structure containing a vertical window (or windows) that projects through a pitched roof. *See Illustration # 2.*

**Double-hung sash window.** A window with two or more sashes; it can be opened by sliding the bottom portion up or the top portion down, and is usually weighted within the frame to make lifting easier.

**Eave.** The part of the roof that overhangs the wall of a building. *See "truss" for illustration.*

**Entablature.** Above columns and pilasters, a three-part horizontal section of a classical order, consisting of the cornice at the top, the frieze in the middle, and the architrave on the bottom.

**Facade.** The face or front of a building. *See Illustration # 1.*

**Fanlight.** A window, often semicircular, over a door, with radiating muntins suggesting a fan.



**Fascia board.** A flat board horizontally located at the top of an exterior wall, directly under the eaves. *See "truss" for illustration.*

**French door.** Two doors, composed of small panes of glass set within rectangularly arrayed muntins, mounted within the two individual frames. Usually such doors open onto an outside terrace or porch.

**Frieze.** The middle division of an entablature, below the cornice.

**Gable.** The vertical triangular portion of the end of a building having a double-sloping roof, usually with the base of the triangle sitting at the level of the eaves, and the apex at the ridge of the roof. The term sometimes refers to the entire end wall. *See Illustration # 2.*

**Gable roof.** A roof form having an inverted "V"-shaped roof at one or both ends. *See Illustration # 2.*

**Gambrel roof.** A roof having two pitches on each side, typical of Dutch Colonial and Colonial Revival architecture. *See Illustration # 2.*

**Gingerbread.** Highly decorative woodwork with cut out ornament, made with a jigsaw or scroll saw, prominent in Gothic Revival architecture. Gingerbread in the Gothic Revival style can be distinguished from the ornamentation in the Stick and Eastlake styles which featured characteristically curved brackets and rows of spindles and knobs thicker than the gingerbread woodwork and were created with the lathe, the chisel, and the gouge.

**Half-timbering.** In late medieval architecture, a type of construction in which the heavy timber framework is exposed, and the spaces between the timbers are filled with wattle-and daub, plaster, or brickwork. The effect of half timbering was imitated in Oregon in the 19th and 20th centuries by the Queen-Anne and Tudor Revival styles.

**Hipped (hip) roof.** A roof which slopes upward on all four sides. *See Illustration # 2.*

**Hood molding.** A decorative molding over a window or door frame, commonly found on Italianate style buildings such as the Smeede Hotel in Eugene.

**Jerkinhead roof.** A gable roof truncated or clipped at the apex - also called a clipped gable roof. Common in Bungalows and Tudor Revival, and Arts and Crafts style buildings.



**Latticework.** A wood or metal screen composed of interlaces or crossed thin strips.

**Leaded glass.** Small panes of glass, either clear or colored, that are held in place by strips of lead.

**Lintel.** A horizontal beam over an opening in a wall that carries the weight of the structure above.

**Mansard roof.** A roof with two slopes, the lower slope being nearly vertical, often concave or convex in profile. Common to the Italianate and Queen Anne styles.

**Molding.** A decorative band or strip with a constant profile or section generally used in cornices and as a trim around window and door openings. It provides a contoured transition from one surface to another or produces a rectangular or curved profile to a flat surface.

**Mullion.** The vertical member of a window or door that divides and supports panes or panels in a series.

**Muntin.** One of the members, vertical or horizontal, that divides and supports the panes of glass in a window.

**Oriel window.** A window bay that projects from the building beginning above the ground level.  
*See "bay window" definition for illustration.*

**Palladian window.** A window divided into three parts: a large arched central window, flanked by two smaller rectangular windows. These are found in Colonial Revival as well as Italianate buildings.

**Parapet.** A wall that extends above the roof line. Common in California Mission style buildings.  
*See Illustration # 7.*

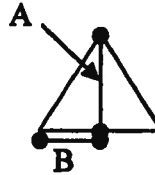
**Pediment.** A low triangular gable end, often found in classical architecture.

**Pent roof.** A small, sloping roof, the upper end of which butts against a wall of a house, usually above the first-floor windows.

**Pilaster.** An engaged pier or pillar, often with capital and base.

**Pillar.** A post or column-like support.

**Pitch.** The degree of slope or inclination of a roof.



*Roof pitch / slope is measured by ratio from vertical (A) to horizontal (B).*

**Pointed arch.** Any arch with a point at its apex, common but not restricted to Gothic architecture. Tudor Revival buildings also frequently incorporate pointed arch motifs.

**Portico.** A porch or covered walkway consisting of a roof supported by columns.

**Quoins.** Cornerstones of a building, rising the entire height of the wall, and distinguished from the main construction material by size, texture, or conspicuous joining. In masonry construction, they reinforce the corners; in wood construction, they do not bear any load, are made of wood, and imitate the effect of stone or brick.

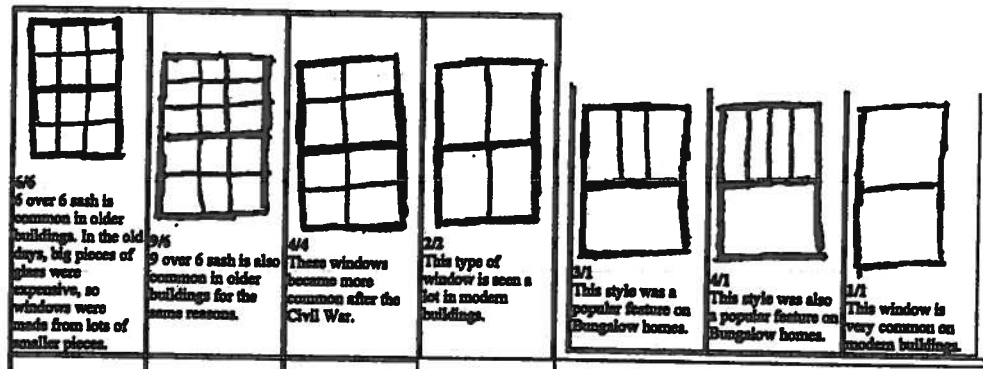
**Rafters.** The sloping wooden roof-frame members that extend from the ridge to the eaves and establish the pitch of the roof. In Craftsman and Bungalow style buildings the ends of these, called "rafter tails" are often left exposed rather than boxed in by a soffit. *See "truss" for illustration.*

**Ribbon window.** A continuous horizontal row, or band, of windows separated only by mullions. Used to some extent in Craftsman designs, but more common in Eugene on post-war modern buildings.

**Round arch.** A semicircular arch, often called a Roman arch.

**Rustication.** Masonry characterized by smooth or roughly textured block faces and strongly emphasized recessed joints.

**Sash.** Window framework that may be fixed or moveable. If moveable, it may slide, as in a double-hung window; or it may pivot, as in a casement window.



*Examples of window sash.*

**Shiplap siding.** Wooden siding tapered along its upper edge where it is overlapped by the next higher courses of siding.

**Side light.** A framed window on either side of a door or window.



**Siding.** The narrow horizontal or vertical wooden boards that form the outer face of the walls in a traditional wood-frame building. Horizontal wooden siding types include shiplap and clapboard/weatherboard, while board-and-batten is the primary type of vertical siding. Shingles, whether of wood or composite material, are another siding type.

**Sill.** The lowest horizontal member in a frame or opening of a window or door. Also, the lowest horizontal member in a framed wall or partition.

**Skirting.** Siding or latticework applied below the watertable molding on a building.

**Soffit.** The underside of the eaves on a building, particularly the boards enclosing the eaves and covering rafter tails. *See "truss" for illustration.*

**Stucco.** A material, usually composed of cement, sand, and lime, applied to a surface to form a hard, uniform covering that may be either smooth or textured. Also, a fine plaster used in decoration and ornamentation of interior walls.

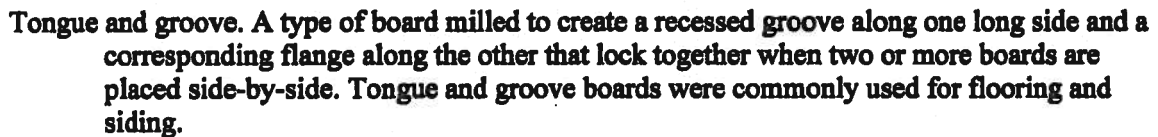
**Surround.** The molded trim around a door or window.

**Swan's neck pediment.** A pediment with an open apex; each side terminates in curves resembling a swan's neck. Found in Oregon mainly on Colonial Revival buildings.

**Terra cotta.** A red-brown fired but unglazed clay used for roof tiles and decorative wall covering. These roof tiles are common in California Mission style. Glazed terra cotta was frequently used for exterior decoration on commercial buildings of the early 20th Century.

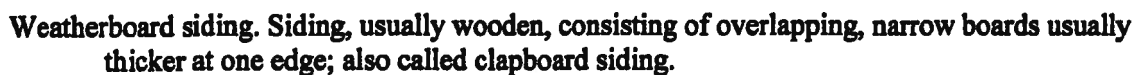
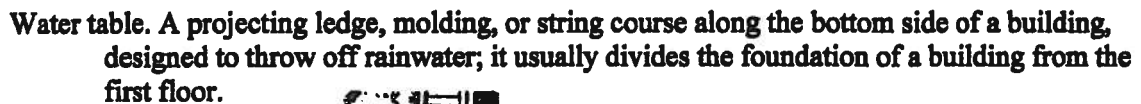


A diagram showing a door with a transom window above it. An arrow points to the transom window with the label "transom".



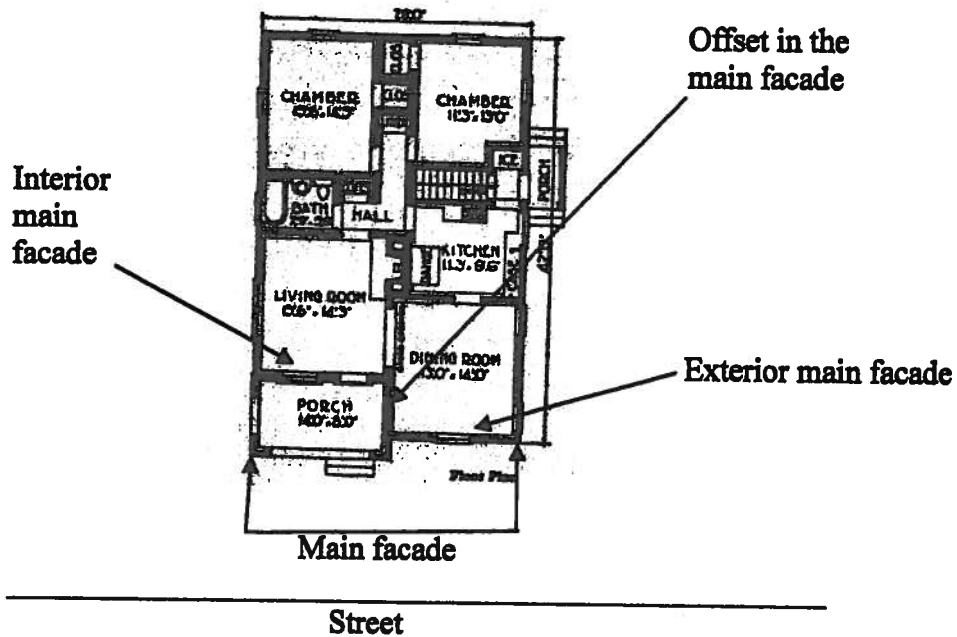
**Turret.** A small, slender tower, usually corbeled from a corner of a building

**Vergeboard.** An ornamental board, sometimes jigsaw cut, that serves as trim and is attached to the overhanging eaves of a gable roof; sometimes called a bargeboard.





**ILLUSTRATION # 1**  
**MAIN FACADE**



The façade is the face or front of the building. The main façade is the building front that faces the street. The main façade includes the building between the two main outer walls. Where the main façade is divided into sections by an offset in the building, the wall of the main façade most distant from the street shall be considered the interior main façade wall. The main façade wall closest to the street shall be considered the exterior main façade wall. Required depth of main façade features such as porches shall be maintained for each portion of the main façade (including interior and exterior main façade walls) from which the feature projects (not including the offset wall). Where the building fronts on more than two streets, unless specified elsewhere to the contrary, the property owner shall pick one of the facades to be the main façade.

**ILLUSTRATION #2**  
**ROOF AND DORMER TYPES**



Side gabled roof  
with front gabled roof dormer



Front gabled roof  
with hip roofed porch



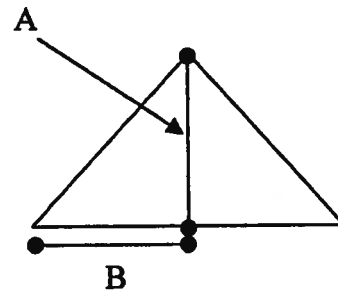
Multiple distinct low pitched gabled roofs  
(with clipped gables/jerkinhead roof)



Hip roof  
with hip roof dormer

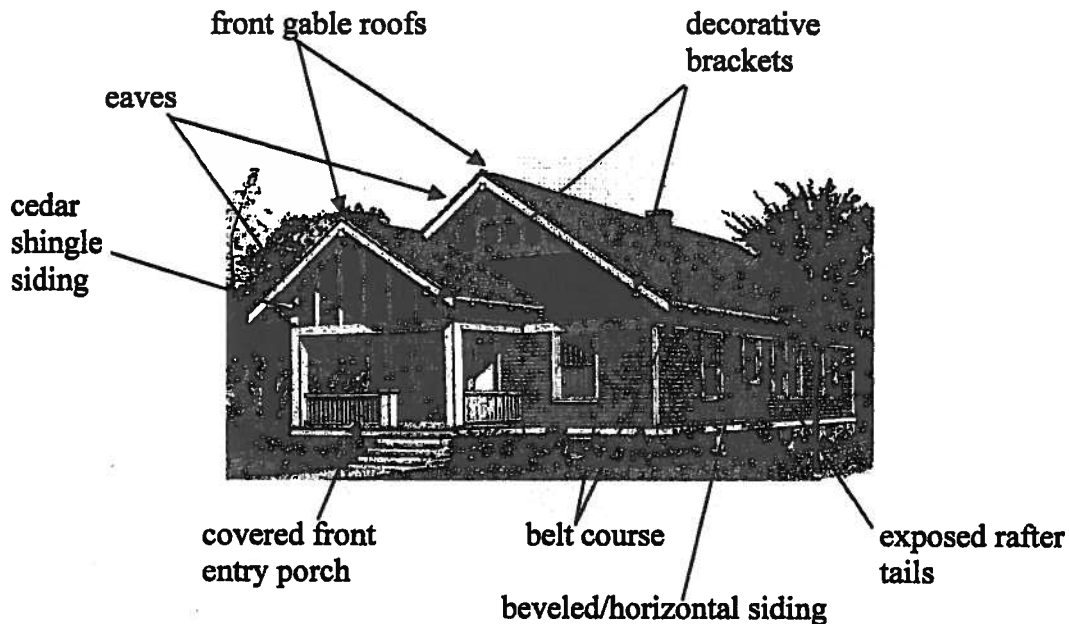


Gambrel roof  
with shed roof dormer

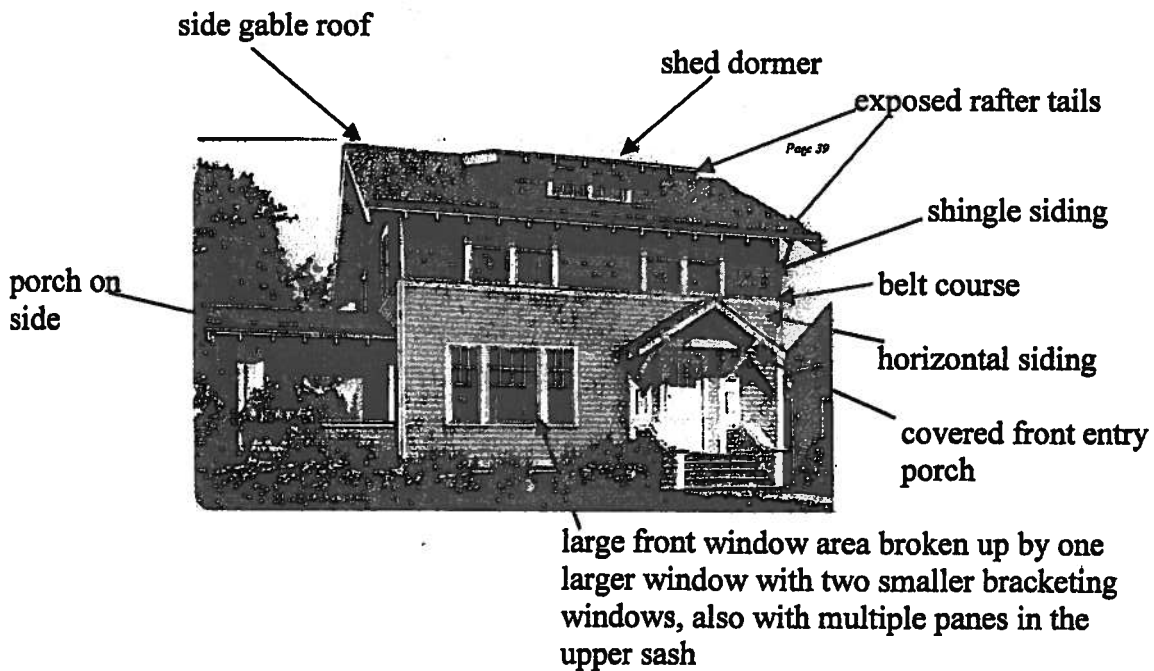


Roof slope is measured by  
ratio from vertical (A) to  
horizontal (B).

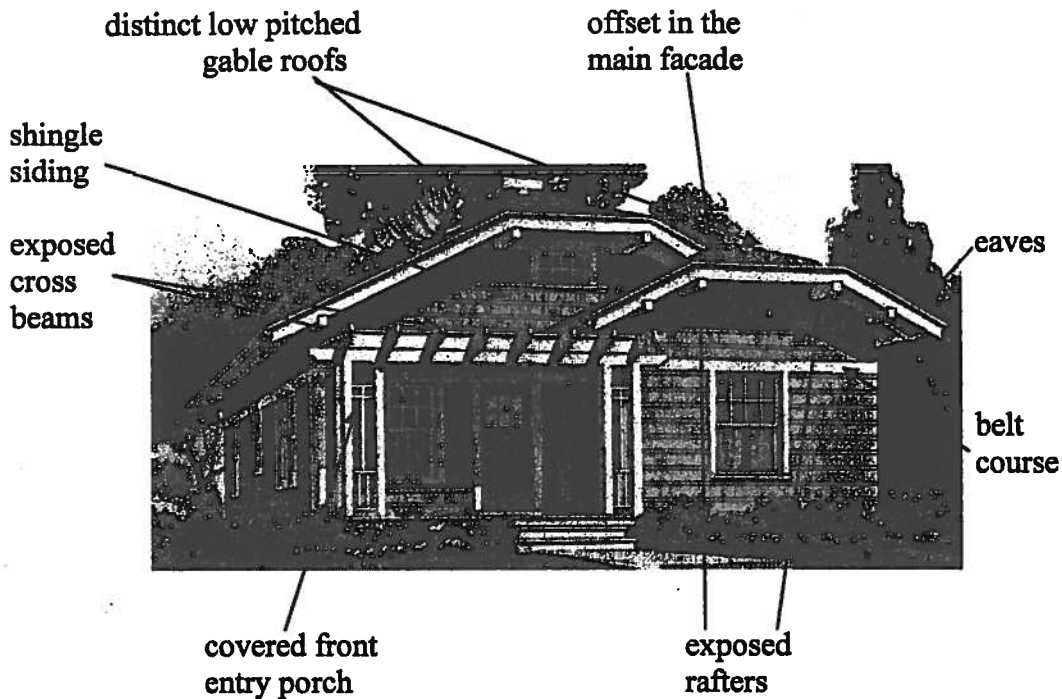
### ILLUSTRATION # 3 VARIOUS EXAMPLES OF FEATURES



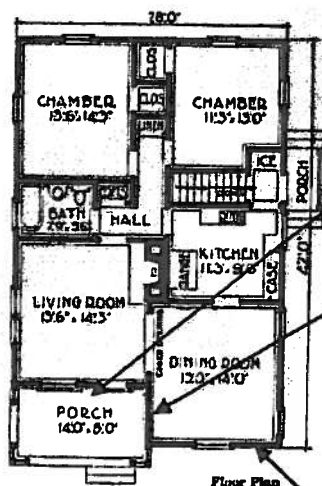
The house above illustrates a main gable roof with eaves and with a distinct gable roof above the front entry porch located on the main façade of the building. The belt course (white line that wraps around the house at the top of the windows) separates the contrasting siding with the beveled siding below and the cedar shingle siding above. The exposed rafter tails (the ends of the rafters under the eaves) and the decorative brackets are visible on both the main gable roof and the porch gable.



# **ILLUSTRATION # 4** **VARIOUS EXAMPLES OF FEATURES**



The house above illustrates a low pitched main gable roof with a distinct low pitched gable roof that extends over the portion of the building that extends out adjacent to the covered front entry porch. An offset in the main façade is created with the 6 foot extension of the building. The covered entry porch is located adjacent to the extension of the main building but is set a couple of feet forward of the building wall and features a flat roof with exposed cross beams. Exposed rafters/cross beams, a belt course, and shingle siding are other decorative features.

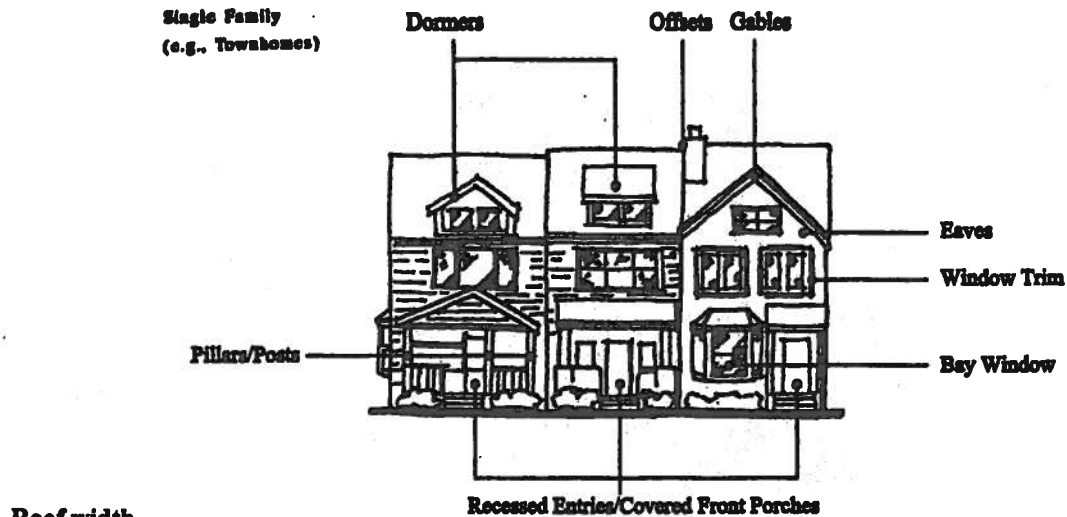


Interior main façade wall.

Offset of about 5 feet in building face and extending 14 feet. Where the building contains an offset in the main façade, the porch depth may be measured from the interior main façade wall provided the interior wall length is at least 25% of the total main façade length and the porch extends beyond the exterior main façade wall.

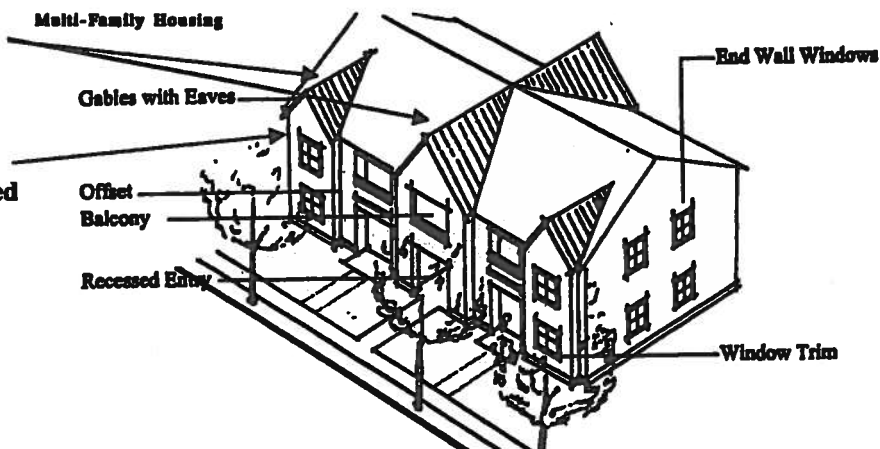
Exterior main façade wall.

# **ILLUSTRATION # 5** **SINGLE-FAMILY (TOWNHOUSE) AND MULTIPLE FAMILY DWELLINGS**

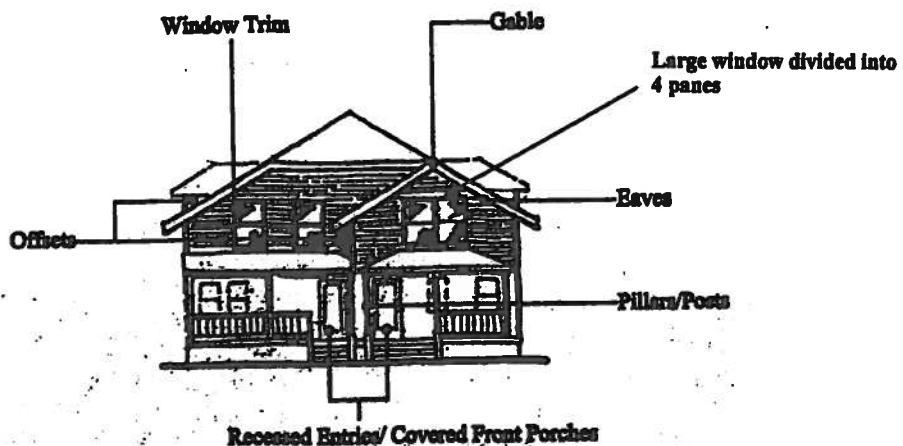


Roof width  
divided into  
increments  
with cross  
gables

Main front  
façade divided  
into distinct  
planes.

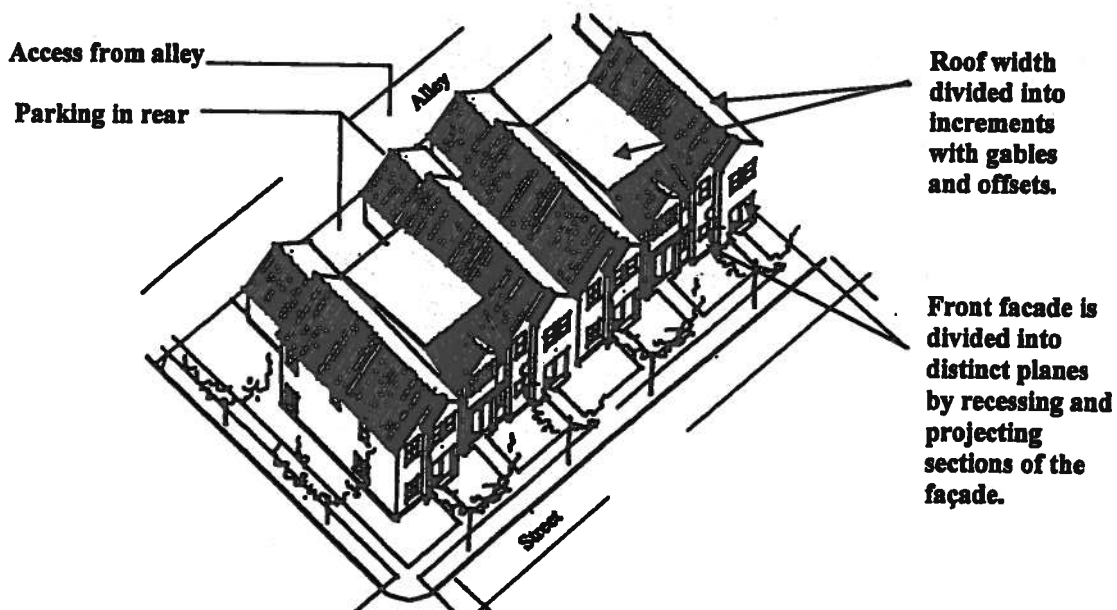
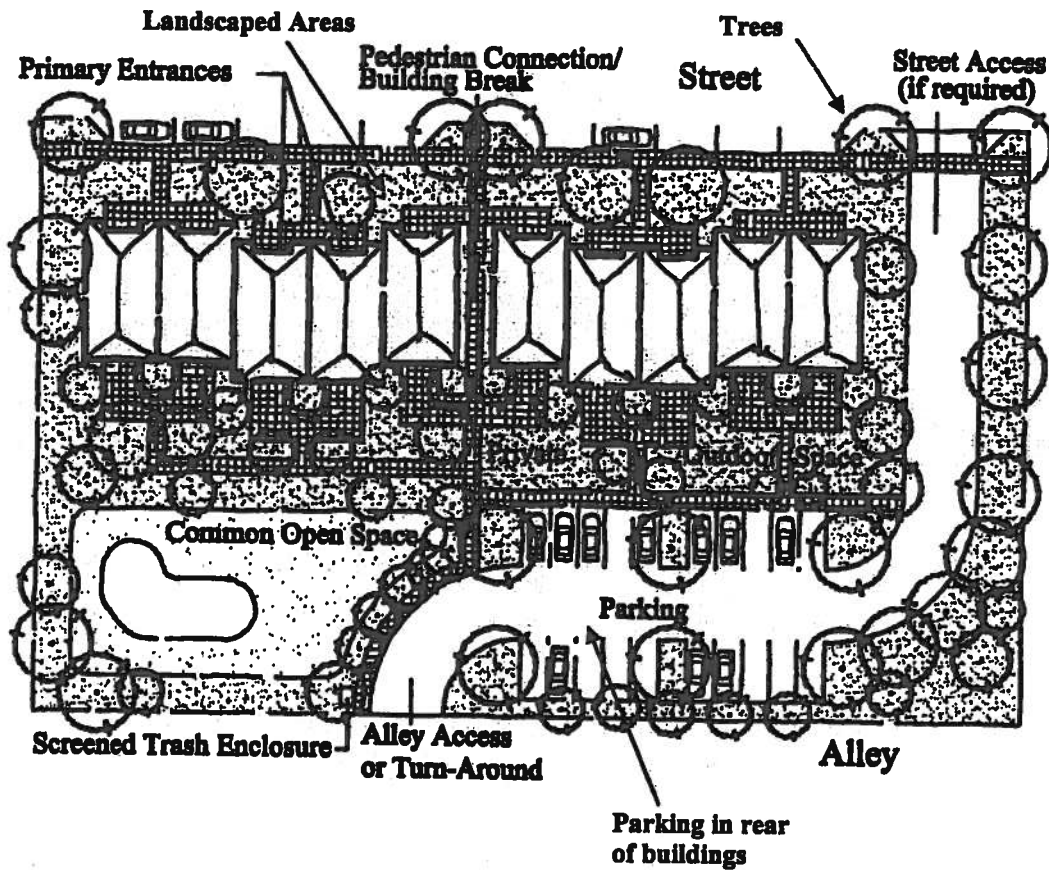


**Duplex / Two family dwelling**





**ILLUSTRATION # 6**  
**LARGE MULTIPLE FAMILY RESIDENTIAL OR HOTEL DEVELOPMENT**



**ILLUSTRATION # 7**  
**COMMERCIAL BUILDINGS**

Cross gable breaks up large roof mass.

No gaps between buildings.

Flat roof with parapet.



Balconies and awnings reduce vertical emphasis.

In the illustration above, banks of windows along the ground floor help create a pedestrian oriented environment. Buildings abut the property line such that no building is setback significantly from the other buildings. Buildings vary in size, shape, roof lines and design features but are architecturally compatible through the use of similar design elements such as the use and placement of a common window treatment on the second floor.

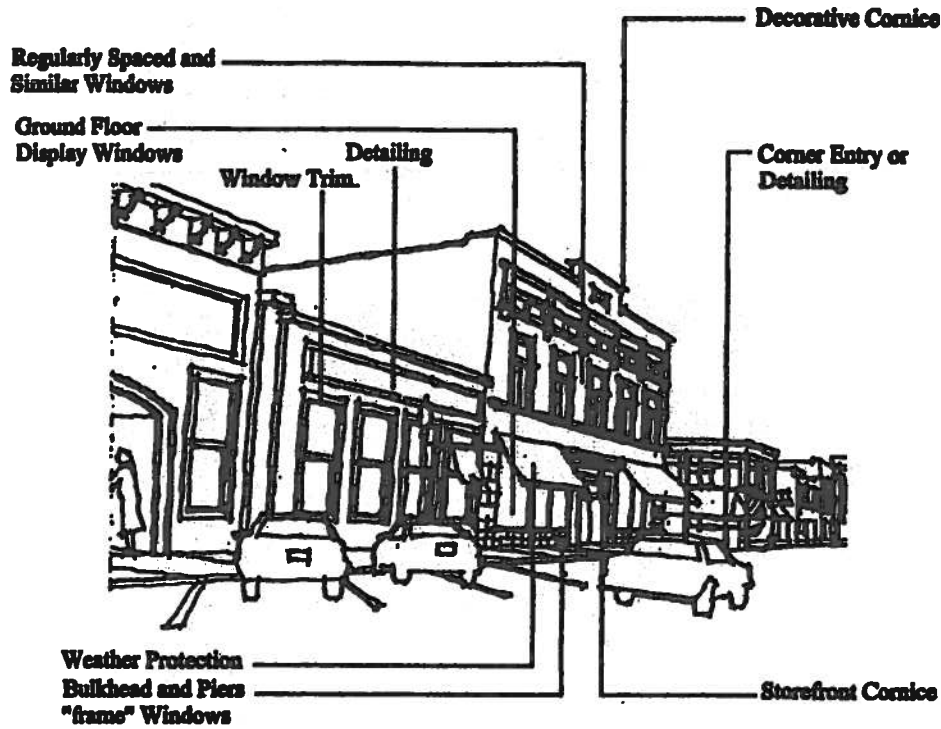
Shutters,  
flower boxes  
and canopy  
help reduce  
vertical  
emphasis.

Lighting  
is pedestrian  
scale



Banks of multi-pane windows along both street frontages help create a pedestrian oriented environment.

## ILLUSTRATION # 8 COMMERCIAL BUILDINGS

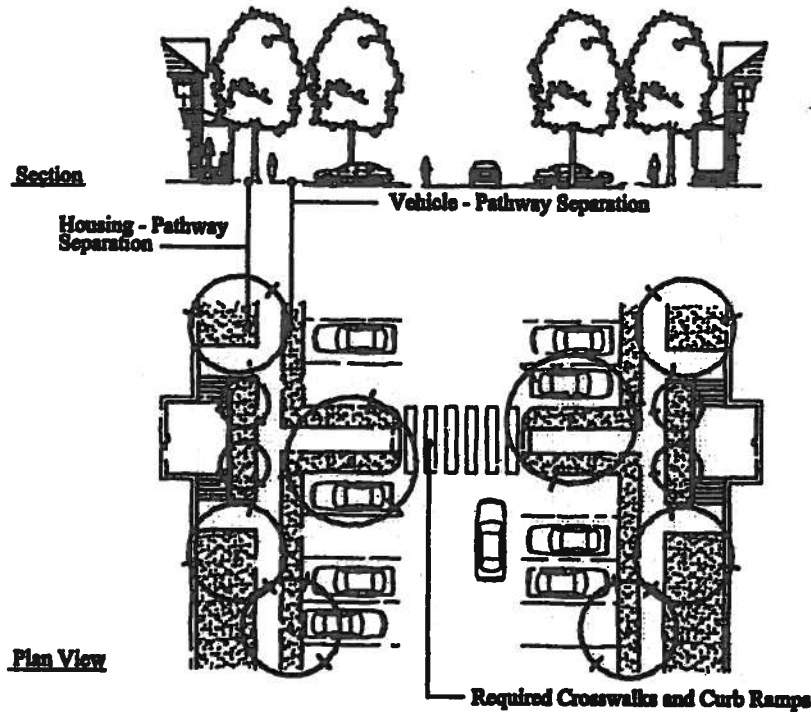


**Buildings illustrated above provide variety in shape, size, roof lines and design features but are architecturally compatible with adjacent buildings.**

**The illustration to the right shows a building setback from the property line but including a pedestrian oriented amenity (outdoor café seating) on a courtyard identifiable by the use of smaller specialty pavers than those used as part of the main sidewalk.**

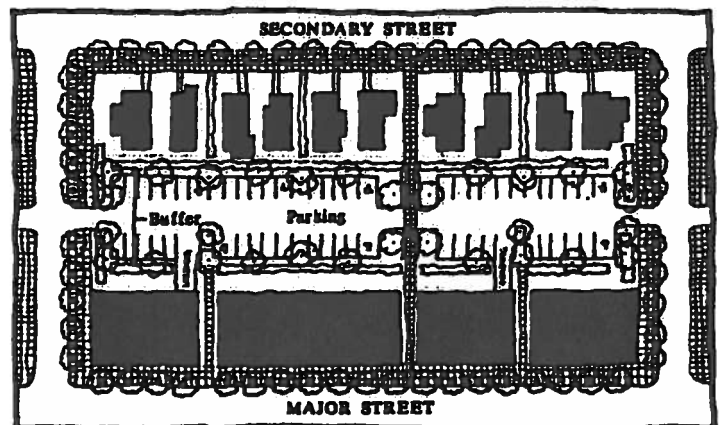


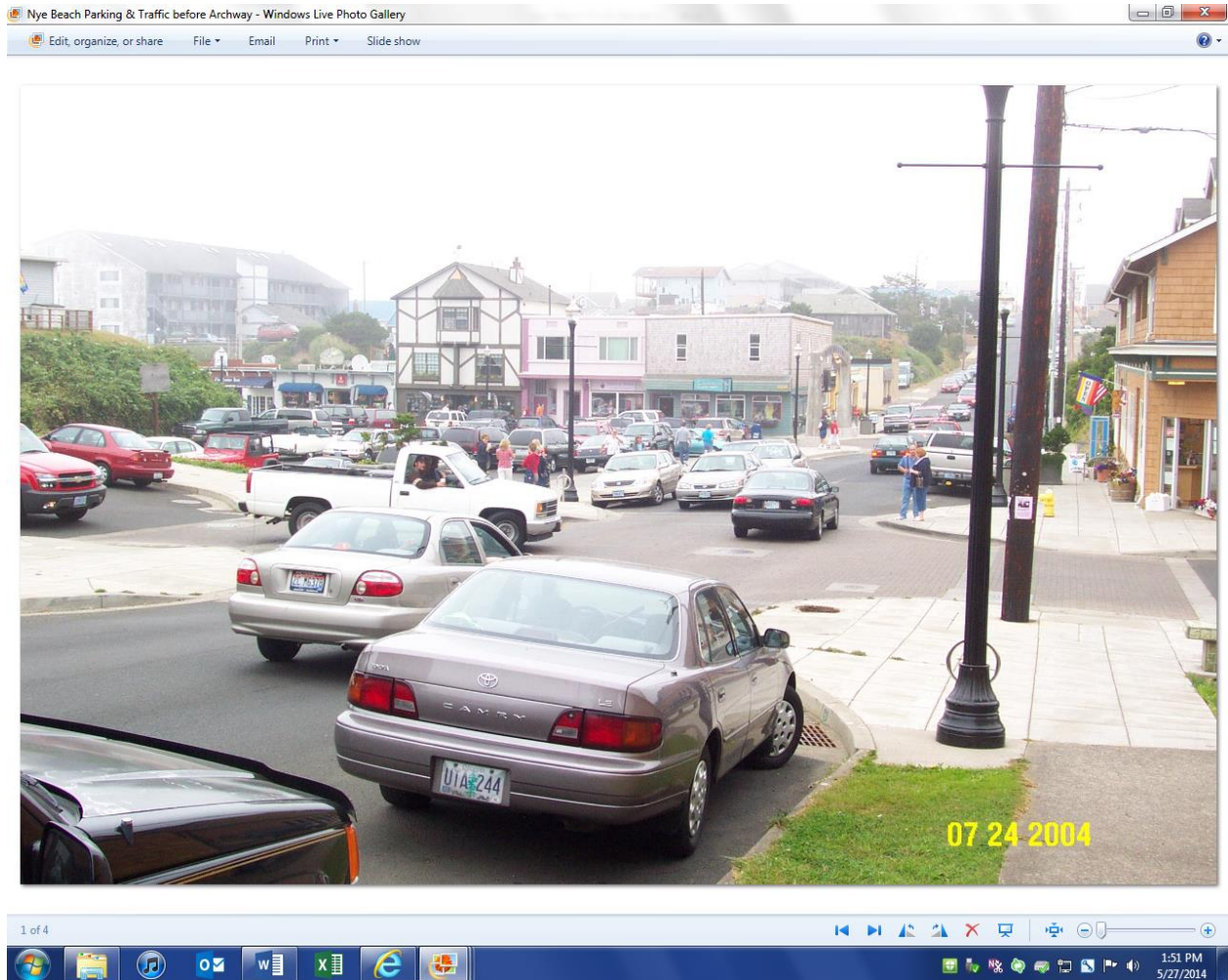
## ILLUSTRATION # 9 PARKING AND PEDESTRIAN LAYOUT



The illustration above shows an interior parking lot. Note that the pedestrian pathways are separated from the vehicle traffic areas. Where the pathway crosses the parking lot, a landscaped area extends from each side to make the crossing short. Additionally, the crossing area is clearly marked. Specialty pavers could also be used to mark the pedestrian crossing area. Trees provide screening for the parking lot. A short hedge (3 - 4 feet) around the parking lot in the landscaped area would provide additional screening and would further separate the pedestrian and vehicle areas. Breaks in the hedge along large parking lots could be provided to allow easier access to and from parked vehicles.

Parking should be located to the side or rear of the building. The off street parking areas for the commercial buildings (along Major Street) are located in a common parking area that is landscaped with a buffer. Pedestrian linkages along and through the commercial buildings and the residential (along Secondary Street) area provide continuous and integrated pedestrian circulation through the block. Continuous sidewalks surrounding the block provide pedestrian connections to the adjacent blocks.



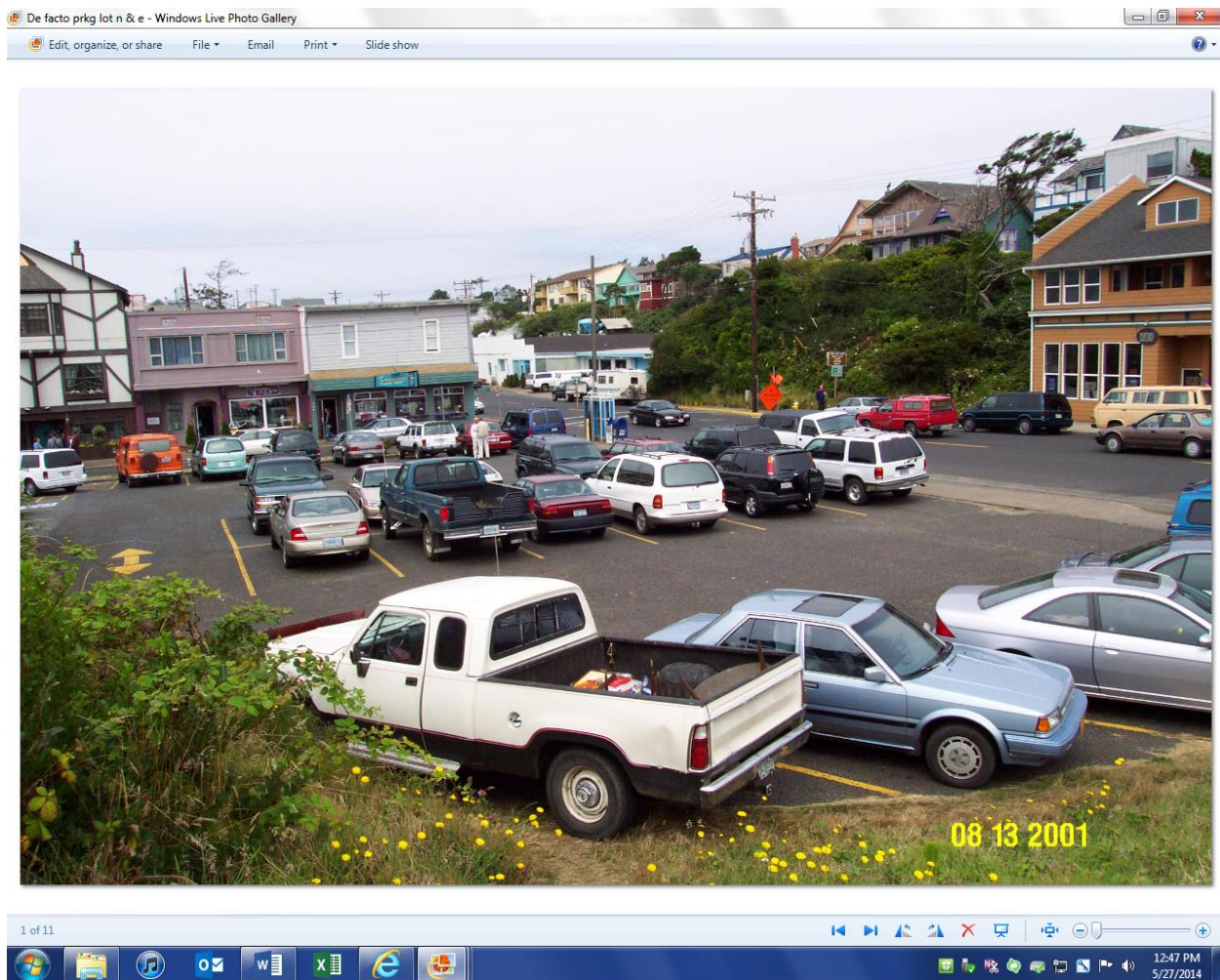


***Nye Beach Prior to Archway Place***



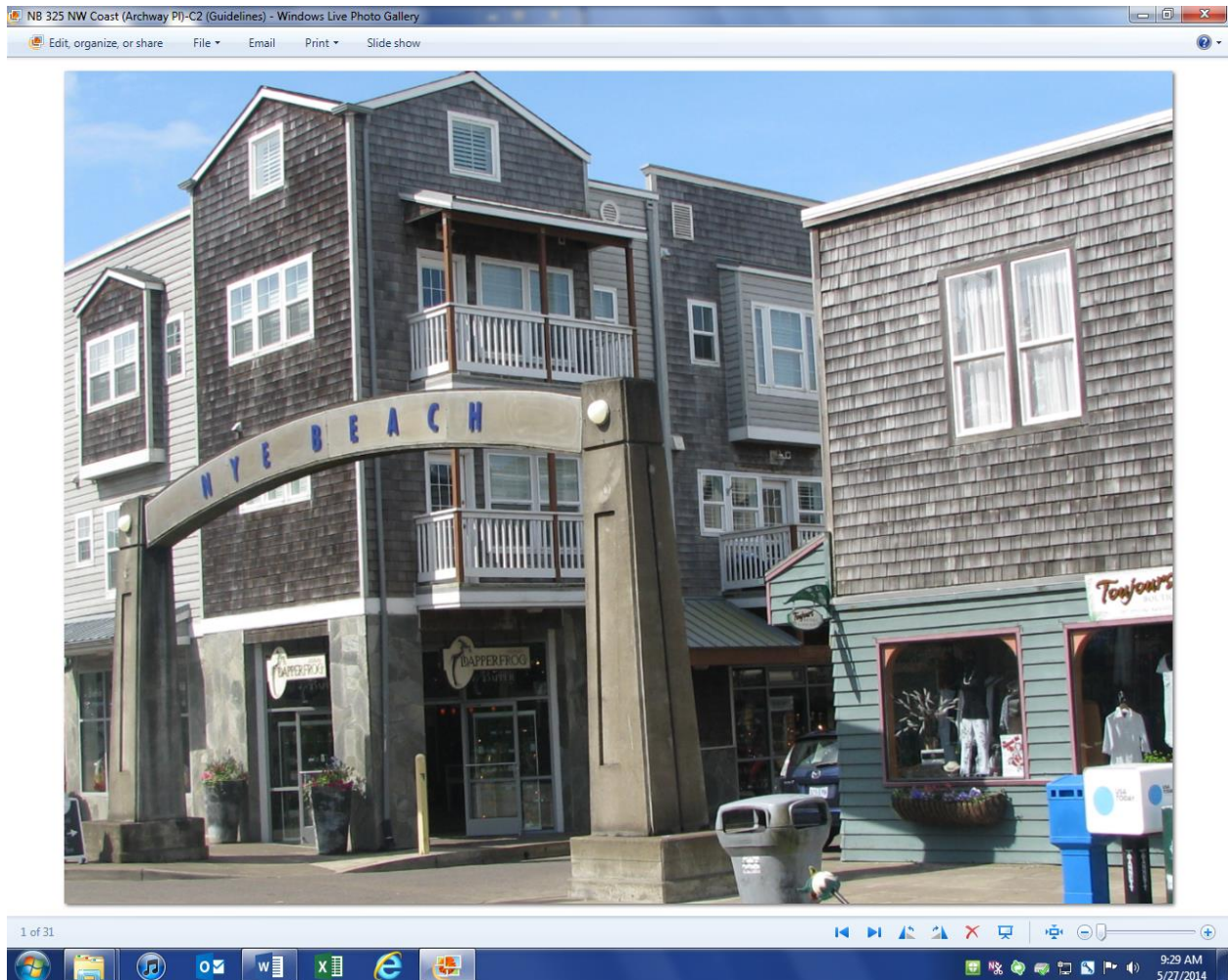


***Nye Beach Prior to Archway Place***



***Nye Beach Prior to Archway Place***





**Archway Place – 325 NW Coast Street**

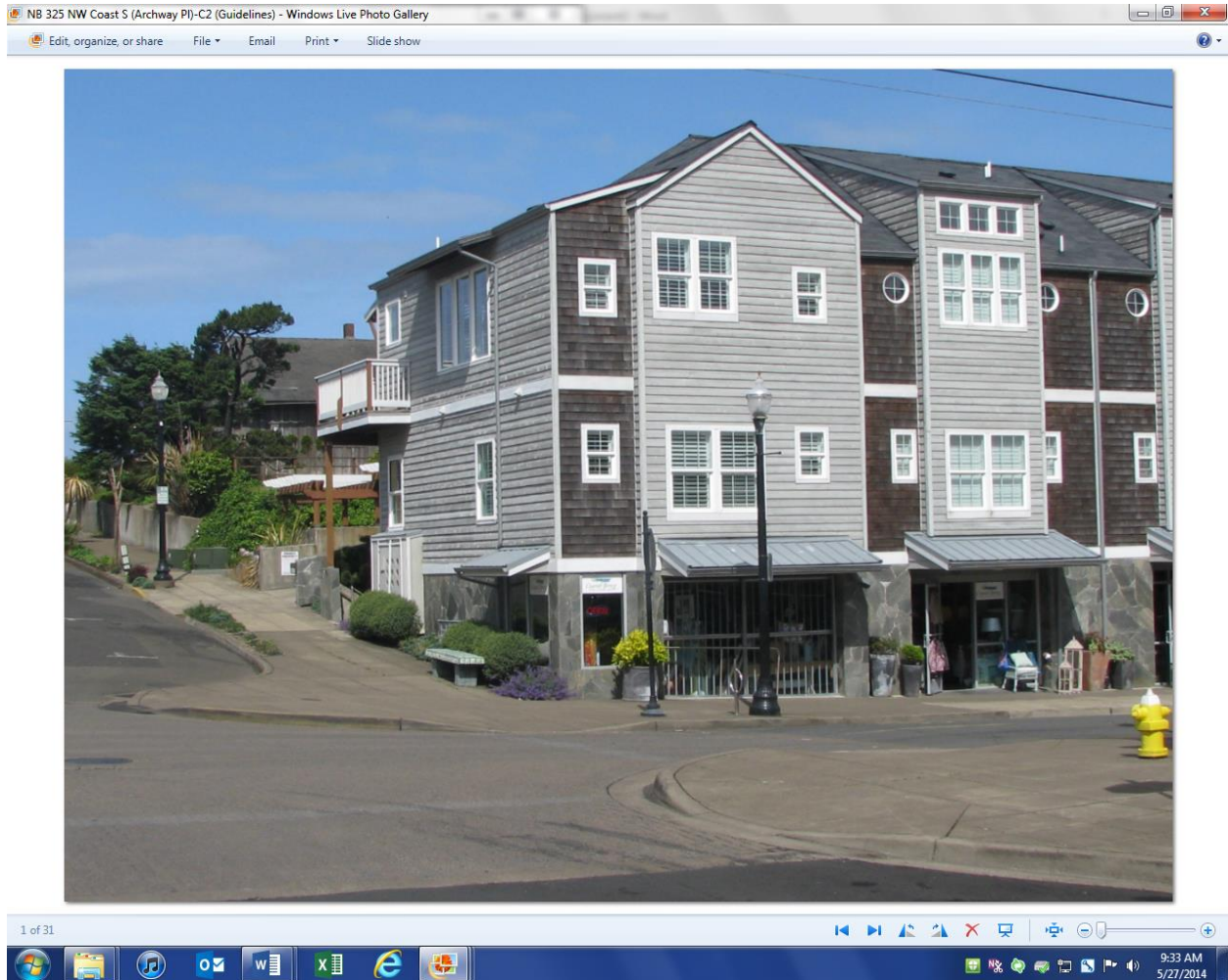
Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 ft. Bulk & Setbacks Provided: Zero setbacks; approximately 90% lot coverage; building height is 42.25 feet. Land Use Action(s) --Planning Commission: (1) Conditional Use Permit #2-CUP-06 (for building with an exterior dimension of over 100 feet, and to allow for four additional residential units above the five residential units permitted outright in the C-2 zoning district of the HNBO; and (2) Design Review #2-NB-06 (for design) applying design review guidelines.



***Archway Place – 325 NW Coast Street***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 ft. Bulk & Setbacks Provided: Zero setbacks; approximately 90% lot coverage; building height is 42.25 feet. Land Use Action(s) --Planning Commission: (1) Conditional Use Permit #2-CUP-06 (for building with an exterior dimension of over 100 feet, and to allow for four additional residential units above the five residential units permitted outright in the C-2 zoning district of the HNBO; and (2) Design Review #2-NB-06 (for design) applying design review guidelines.





***Archway Place – 325 NW Coast Street***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 ft. Bulk & Setbacks Provided: Zero setbacks; approximately 90% lot coverage; building height is 42.25 feet. Land Use Action(s) --Planning Commission: (1) Conditional Use Permit #2-CUP-06 (for building with an exterior dimension of over 100 feet, and to allow for four additional residential units above the five residential units permitted outright in the C-2 zoning district of the HNBO; and (2) Design Review #2-NB-06 (for design) applying design review guidelines.





**McEntee Building -- 522-526 NW Coast Street**

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 feet; Separated Yard Buffer = 5 feet.

Bulk & Setbacks Provided: Setbacks = zero (front); lot coverage is less than 80%; building height is approximately 35 feet; Separated yard buffer is 5 feet.

Land Use Action(s) --Planning Commission: Design Review #3-NB-05 to allow for the construction of a commercial building with five residential units on upper floors.

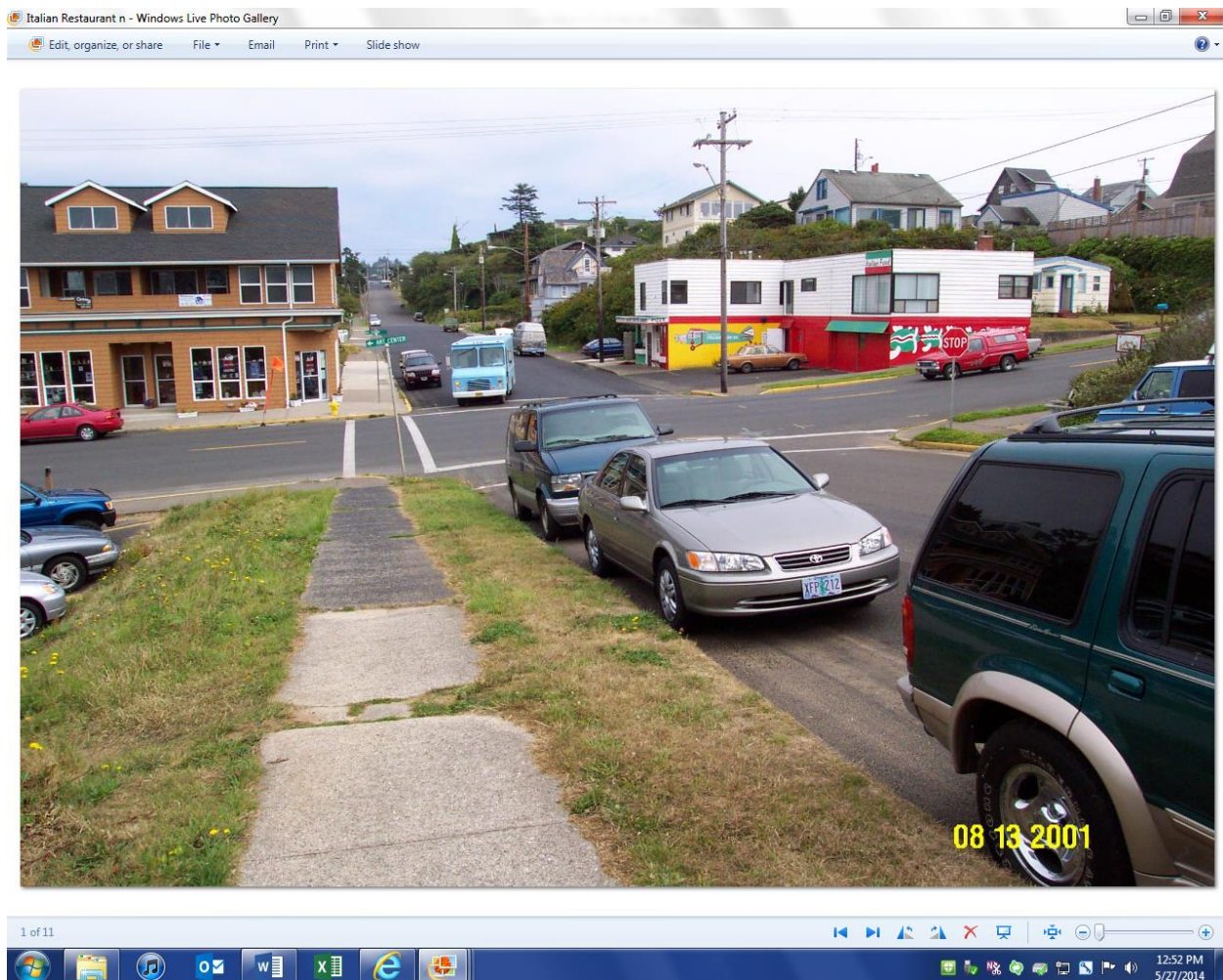


**Moore Building – 320-326 NW Coast Street**

Zoning C-2/"Tourist Commercial:" Required Setback = zero; Lot Coverage = 85%-90%; Max Height = 50 ft.  
Bulk & Setbacks Provided: Setback = zero; 39% lot coverage; building height is less than 35 feet.

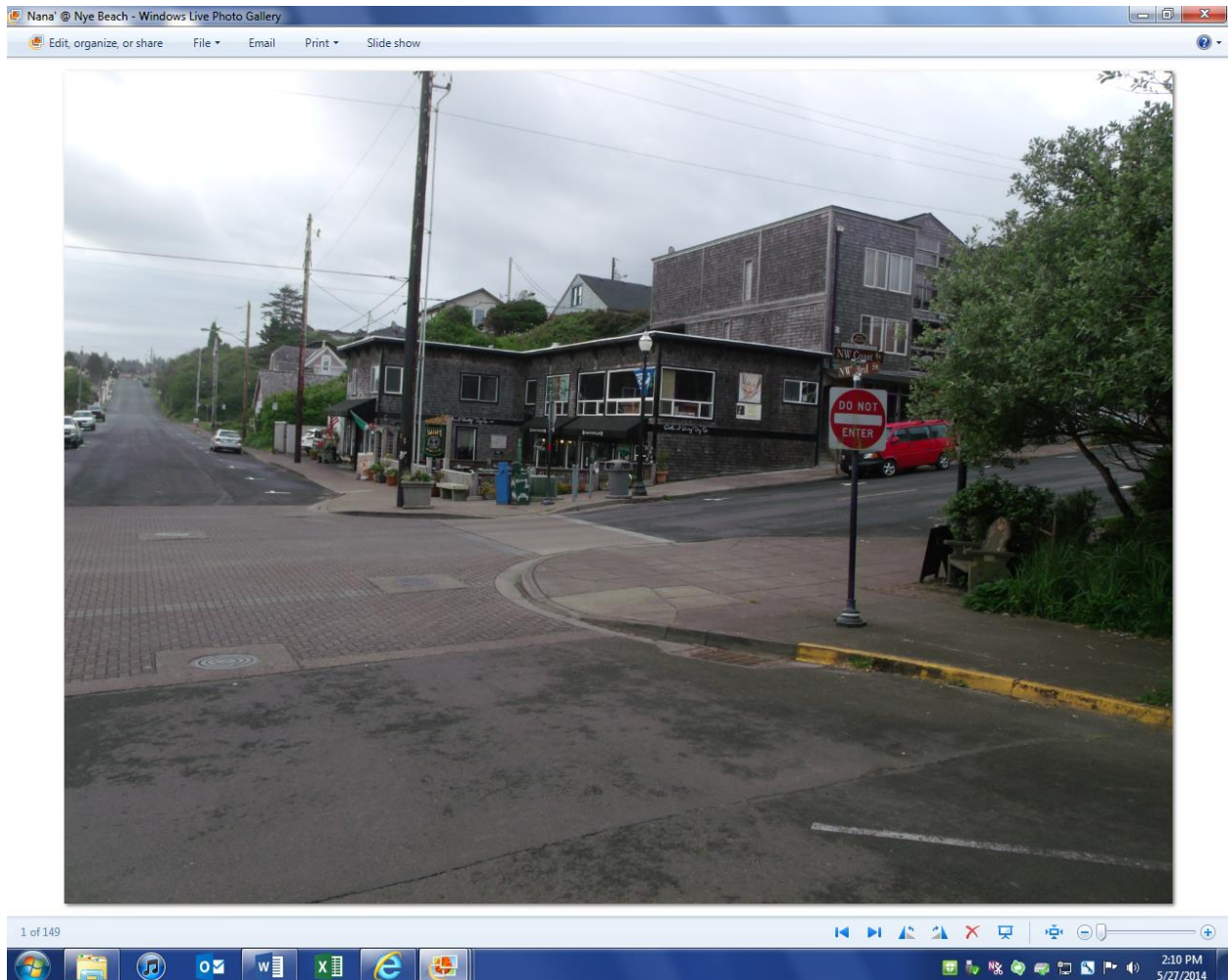
Land Use Action(s) --Planning Commission: (1) Conditional Use Permit #1-CUP-98 (to allow for the construction of a commercial building with residential units on the second floor in the C2 zoning district of the HNBO;

(2) HNBO Design Committee (before design guidelines were developed): Design Review #5-NB-97 & #6-NB-98 (for design).



***The Italian Restaurant, and the little house, prior to Nana's Irish Pub and the Overlook buildings, respectively.***





***No design review required for the Nana's (previously The Italian Restaurant) building because the remodel was just for minor facade and siding improvements.***



***The Overlook – 258 SW Coast Street***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 ft.  
Bulk & Setbacks Provided: Setbacks = zero; lot coverage (NA); building height is approximately 39 feet.  
Land Use Action(s) --Planning Commission: Design review to allow for the construction of a commercial building with three residential units on upper floors.





***Courter Relocated Building – 407 NW High Street***

Zoning R-4/“High Density Multi-Family Residential:” Required Setback =15 feet for front, 5 feet for sides and 10 feet for back; Lot Coverage = 64%; Max Height = 35 feet.

Bulk & Setbacks Provided: Setbacks = Met standard requirements.

Land Use Action(s): HNBO Design Committee (before design guidelines were developed): Design Review #1-NB-98 & 11-NB-98 (Original request is for the relocation of the house from NW Elizabeth Street to NW High Street).



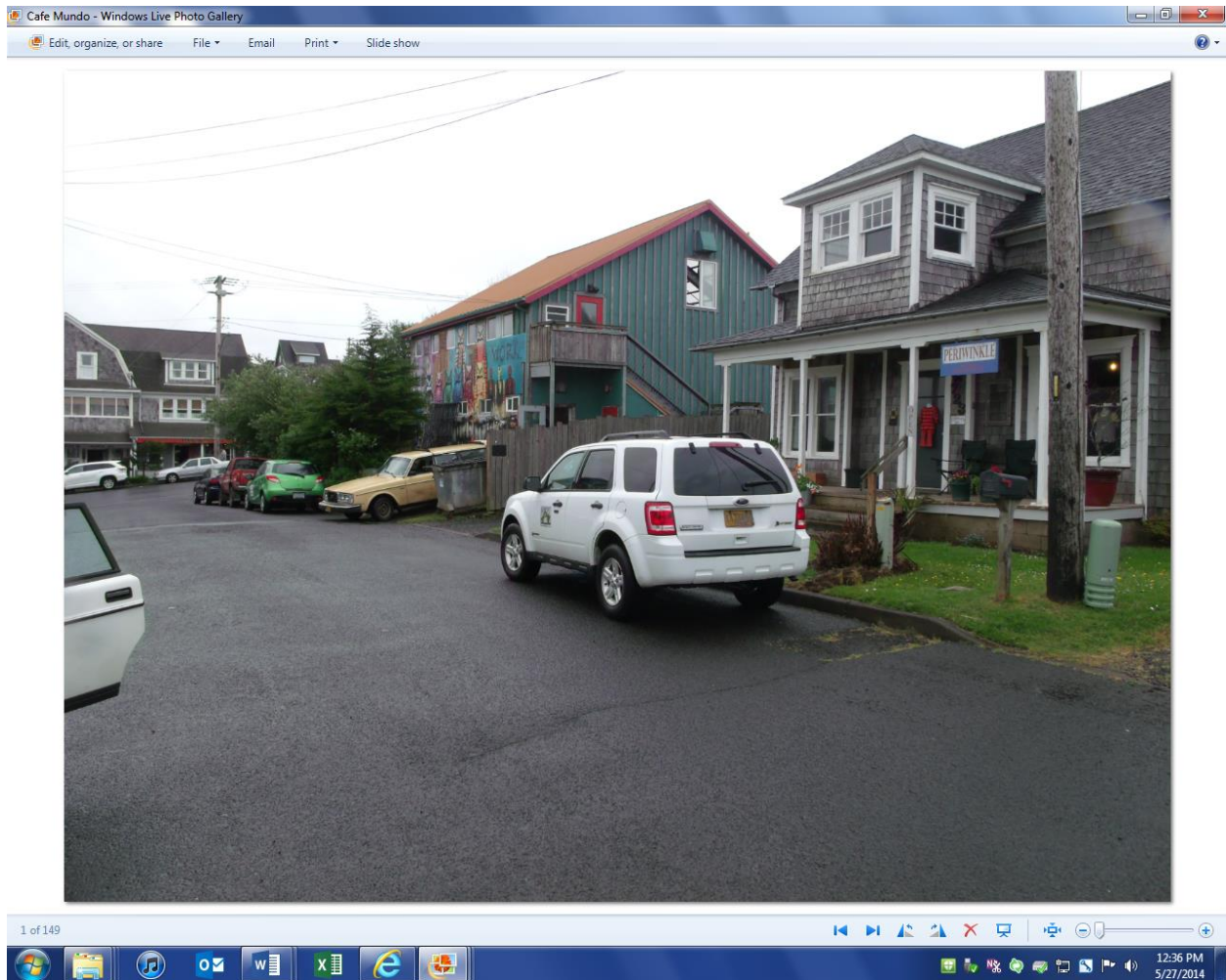
***Brusselback Building – 255 NW Coast Street***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 ft.  
Bulk & Setbacks Provided: Setbacks = Zero; lot coverage (NA); building height is approximately 39 feet.  
Land Use Action(s) --Planning Commission: Design review to allow for the construction of a commercial building to house retail use for the street grade floor and a vacation rental use for the upper floor.









***Café Mundo – 209 SW Coast Street***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 ft. Bulk & Setbacks Provided: Setbacks = (NA); lot coverage (NA); building height is approximately less than 35 feet.

Land Use Action(s): Staff: Design Review #1-NB-06.





***Panini Bakery & Jovi's Building – 232 SW Coast Street***

Zoning C-2/'Tourist Commercial:' Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 ft. Bulk & Setbacks Provided: Setbacks = Zero (front); lot coverage (NA); building height is approximately 35 feet.

Land Use Action(s): HNBO Design Committee (before design guidelines were developed): Design Review #7-NB-00, #9-NB-00 & #1-NB-01 (Original request is for the relocation of the Hodel House from NW High Street to NW Coast Street).



***Ambulance Facility – 609 NW Coast Street***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 ft.  
Bulk & Setbacks Provided: Zero setbacks; approximately 32.5% lot coverage; building height is 27 feet.  
Land Use Action(s): HNBO Design Committee (before design guidelines were developed): Design Review #4-NB-98 (for the development of an ambulance facility).



***Inn at Nye Beach/Vikings Cottages/Vikings Motel – 729 NW Coast Street***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 feet; Landscaping = 10%.

Bulk & Setbacks Provided: Zero (front and side); approximately less than 50% lot coverage; building height is 41 feet; Landscaping is more than 10%.

Land Use Action(s): HNBO Design Committee (before design guidelines were developed): Design Review #1-NB-02 (originally for the remodel of old existing structures);





***Inn at Nye Beach/Vikings Cottages/Vikings Motel – 729 NW Coast Street***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 feet; Landscaping = 10%.

Bulk & Setbacks Provided: Zero (front and side); approximately less than 50% lot coverage; building height is 41 feet; Landscaping is more than 10%.

Land Use Action(s): HNBO Design Committee (before design guidelines were developed): Design Review #1-NB-02 (originally for the remodel of old existing structures);



### **29 SW Coast Street**

Zoning R-4/"High Density Multi-Family Residential:" Required Setbacks =15 feet for front, 5 feet for sides and 10 feet for back; Lot Coverage = 64%; Max Height = 35 feet.

Bulk & Setbacks Provided: front yard (NA), 6 feet & 10 feet for side yards, 19-plus feet for back yard; less than 64% lot coverage; building height are 32 feet and is 34 feet.

Land Use Action(s): HNBO Design Committee): Design Review #1-NB-97 (for the development of five individual residences to be used as vacation rentals).





### ***127 SW Coast Street***

Zoning R-4/"High Density Multi-Family Residential:" Required Setbacks =7.5 feet for front, 2.5 feet for sides and 5 feet for back yard; Lot Coverage = 64%; Max Height = 35 feet.

Bulk & Setbacks Provided: Met setback requirement; Building height is less than 35 feet.

Land Use Action(s): HNBO Design Committee: Design Review #10-NB-01 (for the remodel of an existing single-family dwelling).



***The Grand Victorian – 105 NW Coast Street***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 feet; Landscaping = 10%.

Bulk & Setbacks Provided: Setbacks: Met required standards; lot coverage (NA); building height is 27 feet.



***Niki's Building-- 107 SW Coast Street***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 ft.  
Bulk & Setbacks Provided: Setbacks = Zero; lot coverage (NA); building height is approximately 39 feet.  
Land Use Action(s): HNBO Design Committee: Design Review #2-NB-01 (Original request was when the property was zoned R-4 and the request was to replace an old single-family house with a new residence. Since then, the property has been rezoned C-2/"Tourist Commercial."





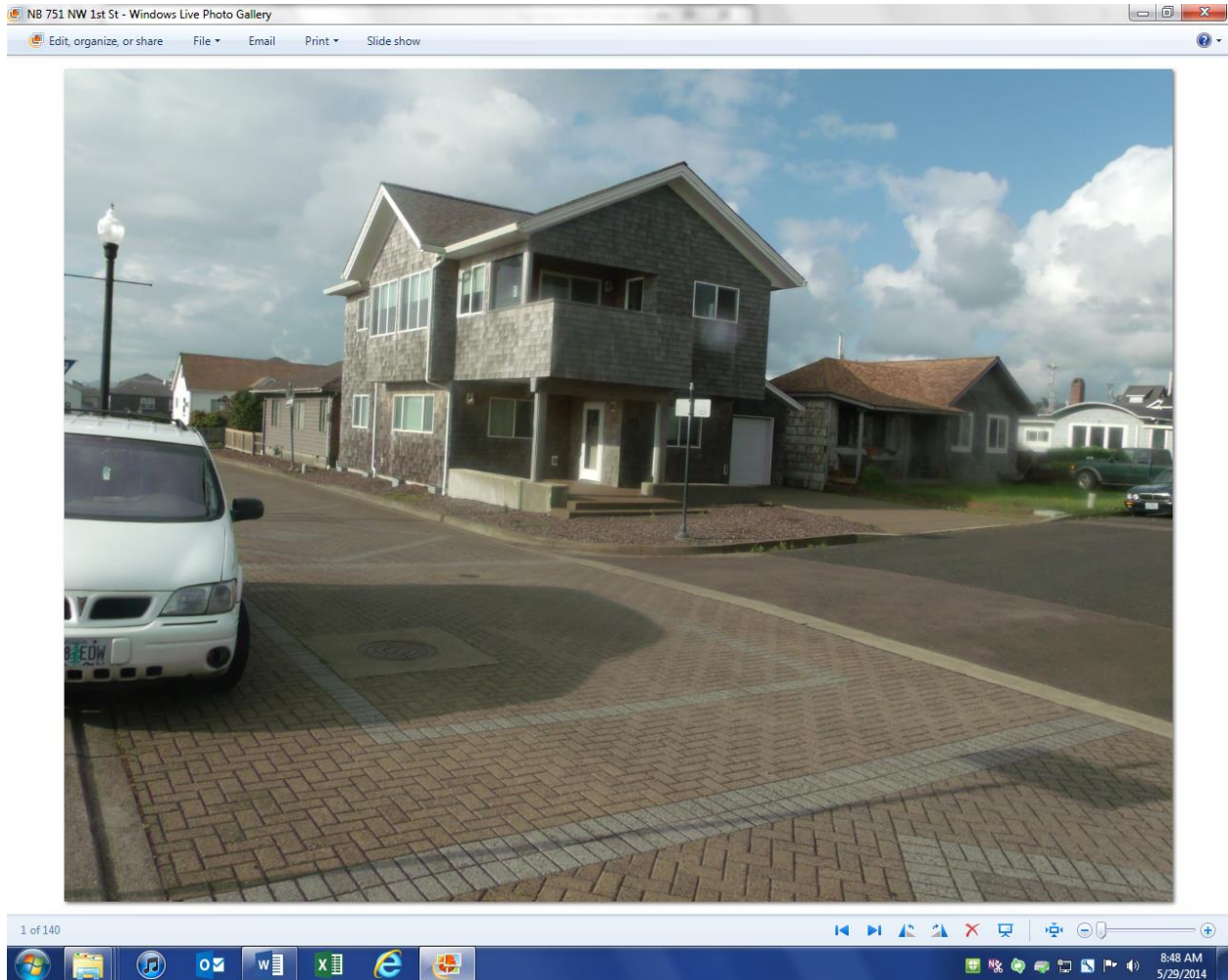
**Briggs @ Nye Beach --751 NW 1<sup>st</sup> Street & 14 NW Cliff Street**

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 feet; Landscaping = 10%.

Bulk & Setbacks Provided: Setbacks: Met required standards; lot coverage (NA); building height is approximately 35 feet.

Land Use Action(s): Staff: Design Review (Standards) for the remodeling, including adding a floor over an existing lower floor.





**750 NW 1<sup>st</sup> Street**

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 feet; Landscaping = 10%.

Bulk & Setbacks Provided: Setbacks: Met required standards; lot coverage (NA); building height is 27 feet.

Land Use Action(s): Staff: Design Review (Standards) for a new residence;



***544 NW Alpine & 540 NW Alpine***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 feet; Landscaping = 10%.

Bulk & Setbacks Provided: Setbacks: Met required standards; lot coverage (NA); building heights are 35 feet.

Land Use Action(s): Staff: Design Review (Standards) for a new residence;





***High Street Cottages --713 NW High Street***

Zoning C-2/"Tourist Commercial:" Required Setback = Zero; Lot Coverage = 85%-90%; Max Height = 50 ft. Bulk & Setbacks Provided: Setbacks = 6 feet (front), 3 feet (side) and 3 feet (rear); lot coverage is less than 80%; building heights are 22 feet & 32 feet.

Land Use Action(s): Staff: Design Review (Standards); Planning Commission Approvals for Conditional Use Permit #1-CUP-05 to allow for multiple dwelling units (4 units on two lots); and Variance #7-VAR-05 to allow for 6-foot garage setback from the required 10 feet setback.



***DANIAN PUD –NW Coast & NW High Street between NW 9th & 10<sup>th</sup> Streets***

Zoning R-4/“High Density Multi-Family Residential:” Required Setbacks =7.5 feet for front, 2.5 feet for sides and 5 feet for back yard; Lot Coverage = 64%; Max Height = 35 feet.

Bulk & Setbacks Provided: Met setback requirement; Building heights are 35 feet.

Land Use Action(s): Staff Approval (using Design Standards).





***DANIAN PUD –NW Coast & NW High Street between NW 9th & 10<sup>th</sup> Streets***

Zoning R-4/“High Density Multi-Family Residential:” Required Setbacks =7.5 feet for front, 2.5 feet for sides and 5 feet for back yard; Lot Coverage = 64%; Max Height = 35 feet.

Bulk & Setbacks Provided: Met setback requirement; Building heights are 35 feet.

Land Use Action(s): Staff Approval (using Design Standards)



**929 NW Hurbert Street**

Zoning R-2/"Medium Density Single-Family Residential:" Required Setbacks =7.5 feet for front, 2.5 feet for sides and 5 feet for back; Lot Coverage = 57%; Max Height = 30 feet.

Bulk & Setbacks Provided: Met standards.

Land Use Action(s): HNBO Design Committee: Design Review #10-NB-01 (for the remodel of an existing single-family dwelling).



***Waves Motel Annex –807 NW Spring Street***

Zoning R-4/“High Density Multi-Family Residential:” Required Setbacks =7.5 feet for front, 2.5 feet for sides and 5 feet for back; Lot Coverage = 64%; Max Height = 35 feet.

Bulk & Setbacks Provided: Setbacks: Met all setbacks, lot coverage is less than 64%, landscaping more than 10%, height is less than 35 feet.

Land Use Action(s): (1) HNBO Design Review Committee (before design guidelines were developed): Design Review #10-NB-02 (originally for the relocation of an existing residence from the C-2 portion, to the R-4 portion, of the motel property to be used as a vacation rental, thus requiring a conditional use permit; Planning Commission Approval of Conditional Use Permit #11-CUP-07 (for hotel use in an R-4 zone).





***Painter Residence--645 NW 11<sup>th</sup> Street***

Zoning R-4/'High Density Multi-Family Residential:' Required Setbacks =7.5 feet for front, 2.5 feet for sides and 5 feet for back; Lot Coverage = 64%; Max Height = 35 feet.

Bulk & Setbacks Provided:

Land Use Action(s): HNBO Design Committee: Design Review #10-NB-01 (for the construction of a single-family dwelling).



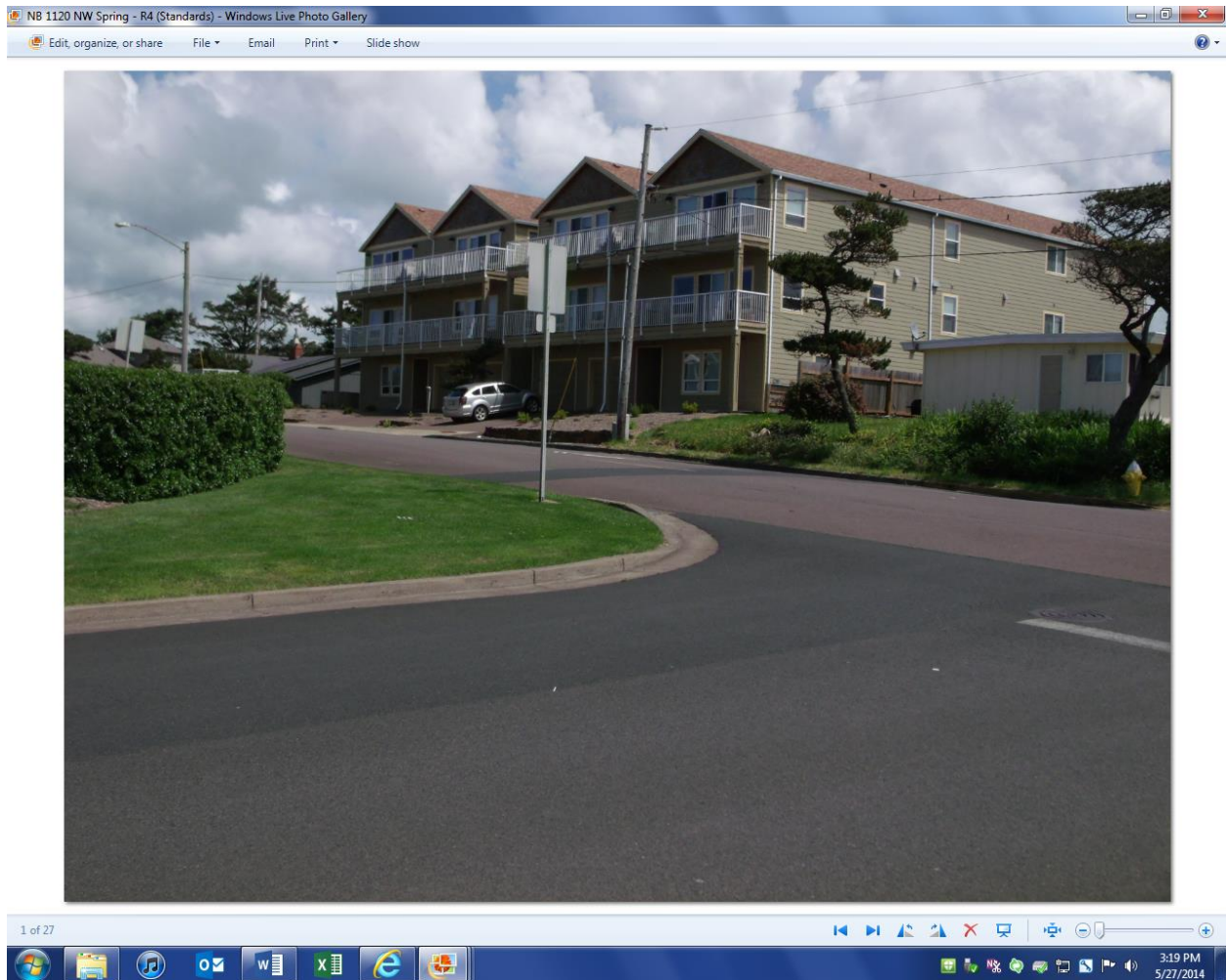


***Nye Beach Condominiums –1125 NW Spring Street***

Zoning R-4/“High Density Multi-Family Residential:” Required Setbacks =7.5 feet for front, 2.5 feet for sides and 5 feet for back; Lot Coverage = 64%; Max Height = 35 feet.

Bulk & Setbacks Provided: Setback: Met setbacks standards, lot coverage is less than 50%, landscaping is more than 10%, Height 36.33 feet (exceeded limit).

Land Use Action(s): Planning Commission Approvals Design Review (Guidelines) #1-NB-05 to allow for construction of residential condominiums; and for Variance #10-VAR-05 to allow for a height of 36 feet 4 inches.



***Spring Street Oceanview Condos –1120 NW Spring Street***

Zoning R-4/“High Density Multi-Family Residential:” Required Setbacks =7.5 feet for front, 2.5 feet for sides and 5 feet for back; Lot Coverage = 64%; Max Height = 35 feet.

Bulk & Setbacks Provided: Setback: Met setbacks standards, lot coverage is less than 64%, building height is 35 feet.

Land Use Action(s): Staff Approval (using Design Standards)

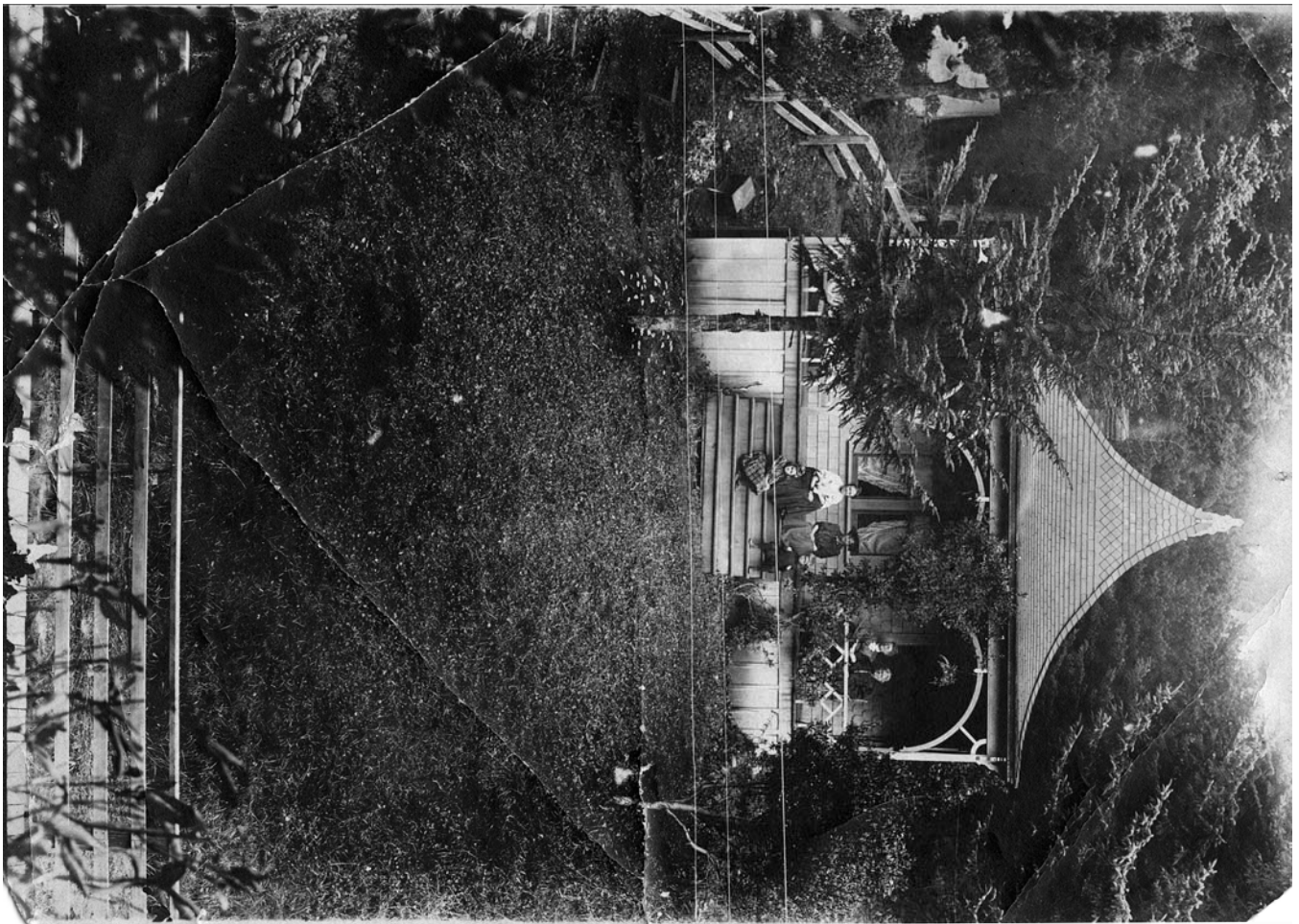












5



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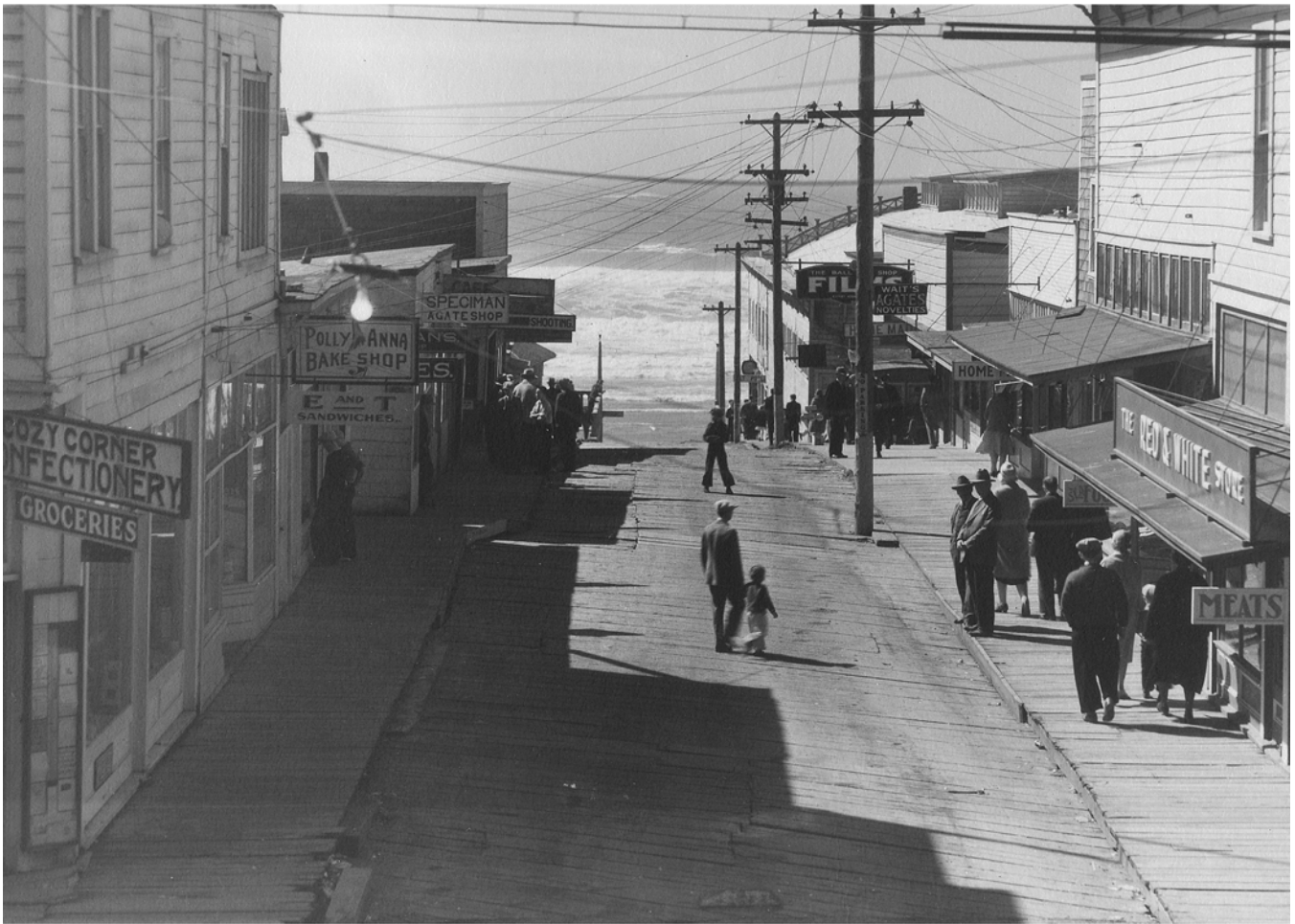








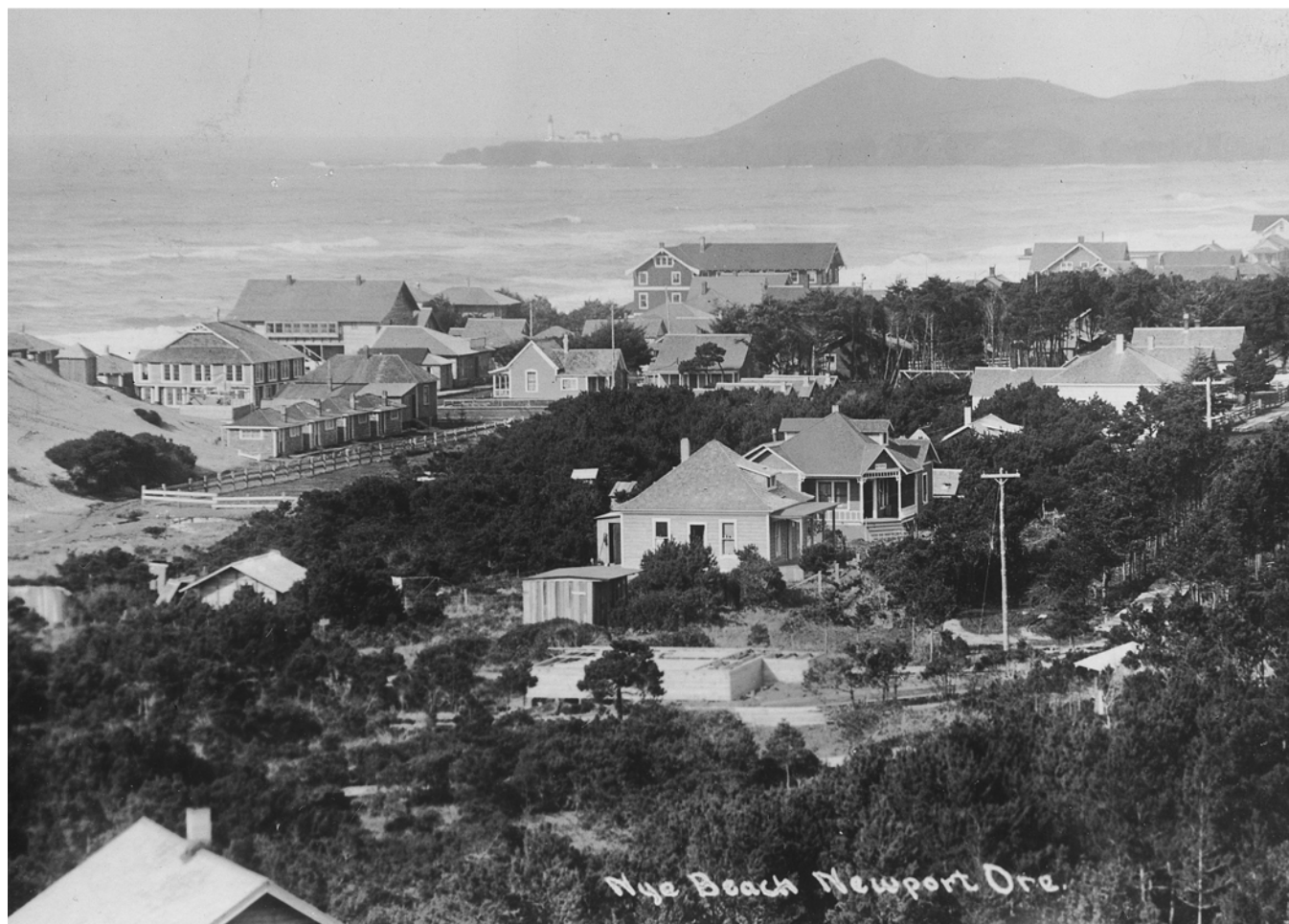


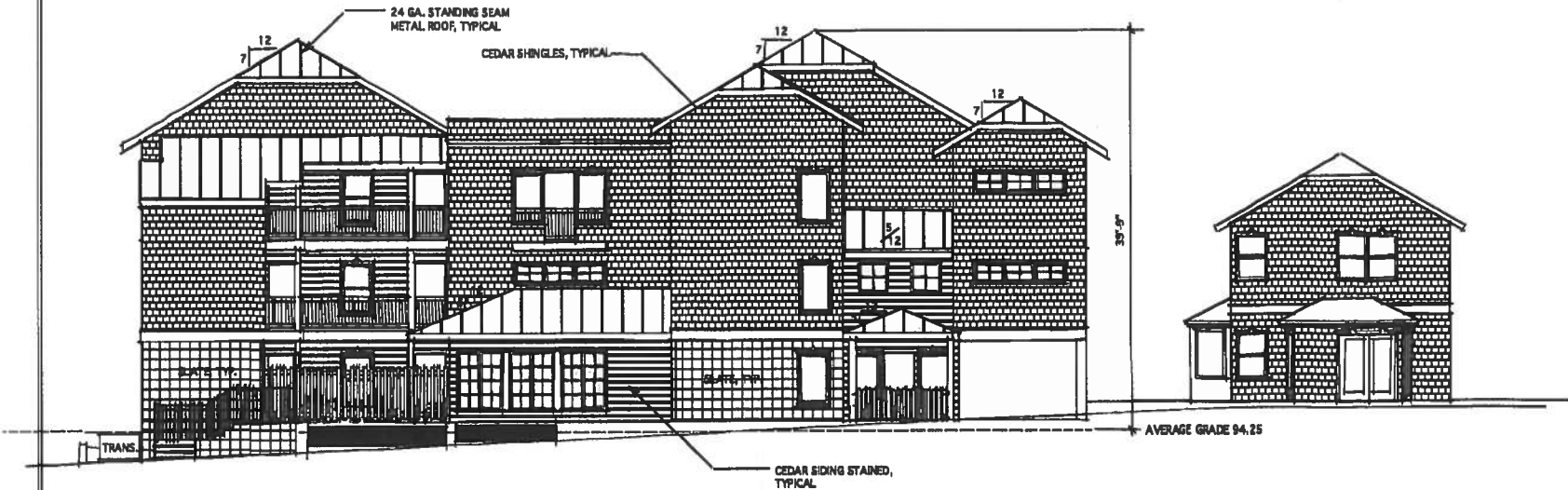






NO BY NATATORIUM & REST ROOM MY BEACH NEW PORT ORE,





**FAST ELEVATION**  
1/8" = 1'-0"

**NORTH ELEVATION**  
1/8" = 1'-0"

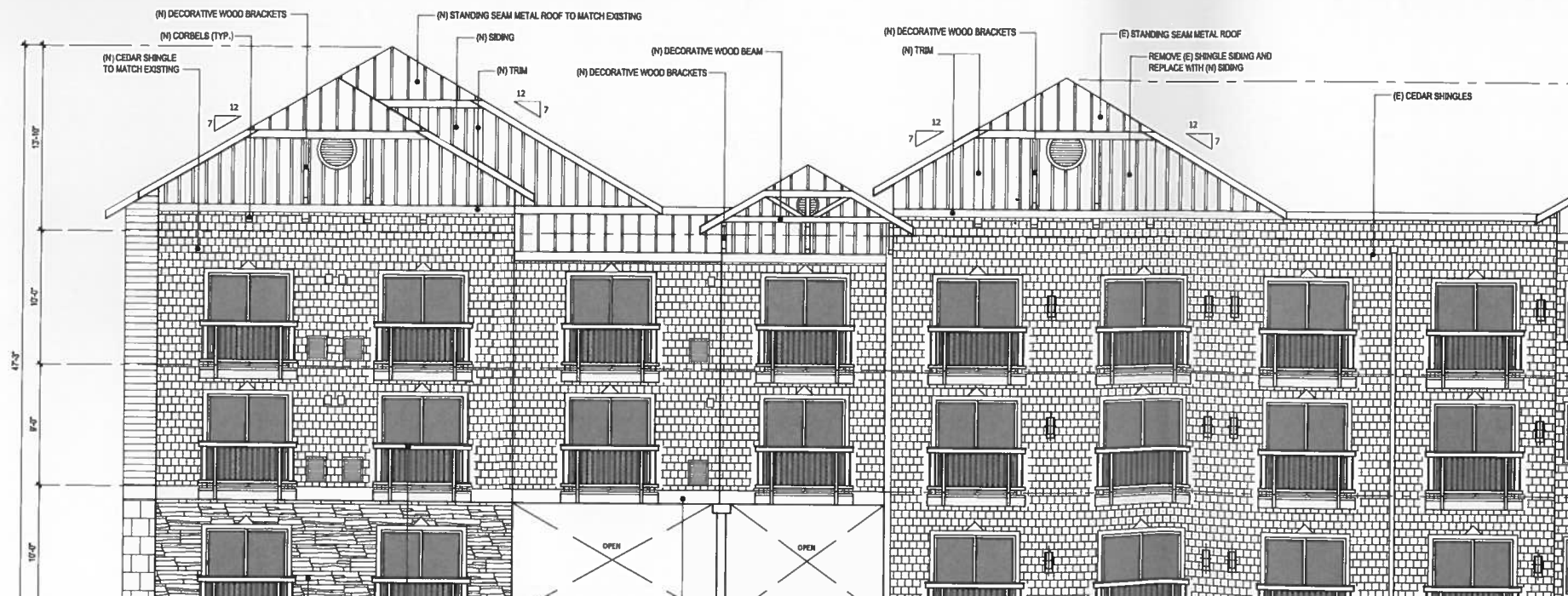
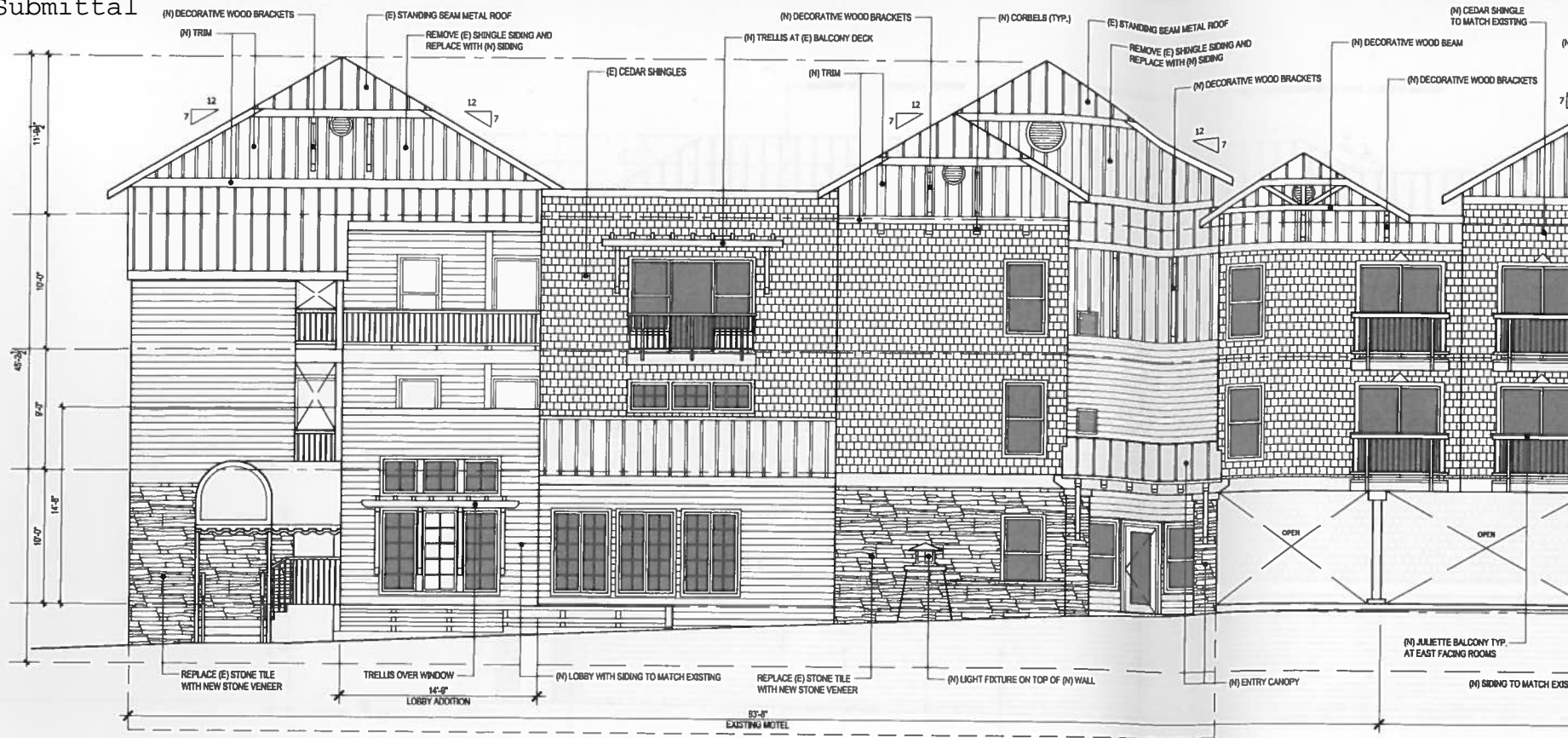




Elevation Included with Construction Drawings (2009/2010)



# Applicant's Submittal



**Derrick Tokos**

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**From:** Robert Murphy  
**Sent:** Monday, January 19, 2015 11:02 AM  
**To:** 'John Lee'; Derrick Tokos; Chris Rampley  
**Cc:** Denny Han; Dale Johnson  
**Subject:** RE: Nye Beach survey

Hi John,  
The Fire access looks good to us. Thank you for including it in the design.

***Rob Murphy***

Fire Chief  
Newport Fire Department  
245 NW 10th St.  
Newport, OR 97365  
541-265-9461  
[r.murphy@newportoregon.gov](mailto:r.murphy@newportoregon.gov)

**From:** John Lee [mailto:[jlee@vipgroup.com](mailto:jlee@vipgroup.com)]  
**Sent:** Friday, January 16, 2015 2:03 PM  
**To:** Derrick Tokos; Robert Murphy; Chris Rampley  
**Cc:** Denny Han; Dale Johnson  
**Subject:** Fwd: Nye Beach survey

To All:  
Attached is the latest Inn at Nye Beach expansion design review submittal, including the fire access details at the southwest corner of our site. Please let us know if you have any questions.

Best,

john

----- Forwarded message -----

**From:** Denny Han <[deyhan@gmail.com](mailto:deyhan@gmail.com)>  
**Date:** Fri, Jan 16, 2015 at 1:52 PM  
**Subject:** Re: Nye Beach survey  
**To:** "Dale Johnson, Architect" <[dale@jra-arc.com](mailto:dale@jra-arc.com)>  
**Cc:** John Lee <[jlee@vipgroup.com](mailto:jlee@vipgroup.com)>

Here is the update set with fire access as Dale sketched out. See sheets SP-1, A-1 & A-2. Please review and submit to the city if it looks okay.

Denny

On Fri, Jan 16, 2015 at 1:49 AM, Dale Johnson, Architect <[dale@jra-arc.com](mailto:dale@jra-arc.com)> wrote:

Pending survey results and potentially moving the encroaching fence, this option appears it would maintain the fence in its current location.

City of Newport Planning Commission

Reference: Request for design review, File Nos. 1-NB-15 / 1-CUP-15

Dear Planning Commission, I'm writing this letter in opposition to the applicant's request for design review for the expansion of the Inn at Nye Beach. I believe that the applicant's proposal falls short of the Newport Design Review: Guidelines and Standards dated Nov. 10, 2003.

1. In the introduction to the Historic Nye Beach Design Review Requirements it reads: "The Nye Beach District is significant for the collection of cohesive architectural resources and landscape elements which reflect a working class neighborhood. The area consists of wood frame buildings, 1 to 2-1/2 stories in height, covered with gable and hip roofs, and clad with clapboard, single and/or fire retardant siding".

In Design Guideline #5, it reads: "Buildings should generally be compatible in design and appearance with the other buildings in close proximity by including similar types of architectural features and materials".

Clearly, the 3+ story 45' tall hotel expansion of the Inn at Nye Beach is not "compatible in design and appearance with the other buildings in close proximity", nor does it reflect "a working class neighborhood".

2. On page 8 of the applicant's submission, you will find that the design of this building shows the walls right at the North property line. I don't believe that this is violation of code, however it appears that the roof will significantly overhang onto our property in two places.

I know Mr. Lee has a fine hotel. I've stayed there and was impressed. I don't blame him for wanting to maximize his earning potential by expanding. I do however think that the design of this building shows a blatant disregard for his neighbors.

Thank You for your careful consideration of this matter,



SueEllen O'Connor-Ferris

Owner of 757 N.W. Coast St. Unit 7



DR. FRANK J. BENISON PH.D.  
19 LINDENWOOD DR.  
LITTLETON, COLORADO 80120  
(303) 795-1393

City of Newport Planning Commission

Reference: Request for design review, File Nos. 1-NB-15 / 1-CUP-15

Dear Planning Commission:

I have owned a condominium (#5) in the Lighthouse Lodges Condominium Association, which is located on the north property border of the Inn at Nye Beach for 30+ years. I have had an excellent working relationship with the former owners (Vikings, Greenstone Inn) and with management of the Inn at Nye Beach. They have all been good neighbors. When I saw their proposed building plan, I was surprised at the disregard of the owners of the Inn at Nye Beach for us, their neighbors. I did have a discussion with the manager of the Inn in September, 2014. I came away from that discussion with an impression of a smaller design that respected our neighborly relationship, though he also told me that they had not finalized the architectural plans at that time.

This letter is in opposition to the applicant's request for design review for the expansion of the Inn at Nye Beach. I believe that the applicant's proposal falls short of the Newport Design Review: Guidelines and Standards dated Nov. 10, 2003. I also believe that the currently designed building will negatively affect the real estate value of my property particularly due to its size (3+ story - 45' tall).

I understand that the current planned proposal is for a building whose northern walls are directly on our south property line and that the building proposed will have a roof that will significantly overhang onto our property in two places! I do not see how this design, which encroaches into the Air Space of our property could possibly be legal. Please take action on this.

Thank you for considering my concerns,

Dr. Frank J. Benison

757 N.W. Coast St.

Derrick Tokos  
City of Newport Planning Commission  
Re: Request for design review, File Nos.1-MB-15/1-CUP-15

David and Margaret Hall  
8310 Counterpane LN  
Juneau, AK 99801

February 18, 2015

Sir,

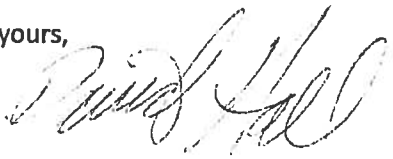
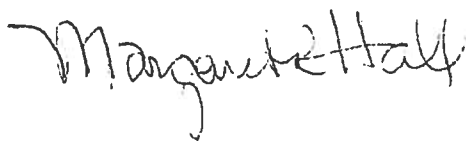
My wife and I are owners of a Pacific Crest condominium, located adjacent to the Inn at Nye Beach, and we'd like to lend our support of the Inn's proposed expansion project.

As an architect myself, I was pleased to have the opportunity to view the design of the proposed expansion plan for the Inn. I'm impressed with how the finished project will appear to have been one purpose-built hotel, and not an afterthought. In addition, the modified hip roof, the selection of exterior materials, the use of mullions and muntin windows, and the decorative awnings are all representative of historic Nye Beach, much like the Sylvia Beach Hotel. The plans also reflect a sincere effort to mitigate obstructions to the northern views of Pacific Crest condo owners.

With the proposed room additions, the Inn will remain a boutique hotel as befits the location. We've seen an increase in guests at our own condo every year. The 16 additional guest rooms, within walking distance of Nye Beach, can only provide greater benefit to the historic district business owners and neighborhood.

Thank you for the opportunity to provide comment and for your efforts to keep Nye Beach Historic District truly representative of its golden period.

Sincerely yours,

Brendan Carmody

261 SE View Dr.

Newport, OR 97365

February 11, 2015

Newport Planning Commission

Re: Request for design review, **File No.s. 1-NB-15 / 1-CUP-15**

Dear Mr. Tokos and Planning Commission Members,

As an owner of condominium units for over thirty years at the property directly adjacent to the Inn at Nye Beach I have always had a vested interest in Nye Beach developments. I served on the original Nye Beach Overlay Zone Committee reviewing designs of proposed buildings to accommodate the cultural appreciation of Nye Beach. It is with this background that I would like to express my support for the proposed Inn at Nye Beach design.

After carefully reviewing the proposed plans it's apparent that the addition has been designed to complement the existing structure and remove a building that today is disproportional to the main building. I believe this will enhance the specific neighborhood and encourage further commercial tourist development in this northern area of Nye Beach. Additionally it will further the beautification of Nye Beach as a whole. Even with this addition the Inn at Nye Beach would still only consist of 36 units making it fit appropriately with the boutique inns and special flavor of the Nye Beach neighborhood.

Thank you for your consideration.

Brendan Carmody

February 18, 2015

Rebecah Lutz, Owner  
James 1:27 Ministry, LLC  
DBA: Nye Beach Sweets  
314 NW Coast Street  
Newport, OR 97365

City of Newport Planning Commission  
169 SW Coast Hwy  
Newport, OR 97365

RE: Request for design review, File Number 1-NB-15/1-CUP-15

Dear Planning Commission,

As a business owner in the Nye Beach district of Newport it is my pleasure to work with the Inn At Nye Beach. It has come to my attention that they are coming before the Commission for a design review.

I have spoken with Stephen Davis, the General Manager of the Inn and he has showed me the plans that they have. I am in favor of their application for several reasons that I would like to share with you.

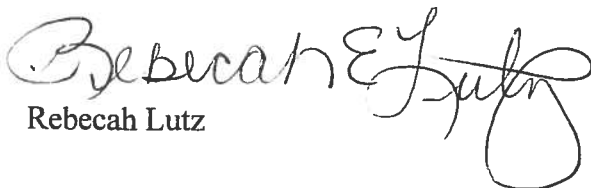
- 1) With some slight improvements they will be staying within the current structure design.
- 2) The addition will keep the same height as the current structure.
- 3) They will be adding amenities to the property.
- 4) The main structure is staying well away from the bank
- 5) They will be adding fifteen (15) much needed off street parking spaces.

In attention they will be adding additional landscaping both to the front and rear of their building.

I look forward to seeing the finished project and look forward to continuing to work with the Inn At Nye Beach in the future.

Please do not hesitate to contact me with any questions you may have at 541-574-1963.

Sincerely,

  
Rebecah Lutz



**Derrick Tokos**

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**From:** Blissful Beach <blissfulbeachmassage@gmail.com>  
**Sent:** Thursday, February 19, 2015 8:35 AM  
**To:** Derrick Tokos  
**Subject:** Inn at Nye Beach Expansion Project

Mr. Tokos:

I am writing this letter in support of the Inn at Nye Beach expansion project. The drafts I reviewed reveal a low-profile expansion that is aesthetically consistent with the current structure, as well as with existing Nye Beach land uses. Furthermore, it is my understanding that the expansion will give the building a more integrated profile that will not obstruct other neighbors' ocean views.

The Inn at Nye Beach could arguably be called the crown gem of Nye Beach for several reasons: its location, its beauty, and most importantly, its commitment to a special guest experience that is unmatched by comparable lodging facilities in the Newport area.

As the lead massage therapist for the Inn at Nye Beach, I am in a unique position to communicate directly with its guests for extended periods of time. I consistently hear how impressed they are with the attention to detail in the accommodations and guest service, while at the same time respecting a philosophy of environmental stability. I've heard more than one guest say they wouldn't stay anywhere else in Newport.

Expanding the Inn at Nye Beach will fulfill the need for more rooms in a hotel that is frequently booked to capacity, but it will also provide more of what people enjoy about staying at the Inn. There is simply no other hotel like it in Newport, and this city needs more of it. Thank you for considering my opinion on this matter.

--

Michele Laurel, LMT #17246  
Blissful Beach Massage  
541-961-4897

Newport Planning Commission  
City of Newport, Community Development  
169 SW Coast Highway  
Newport, OR 97365  
RE: Request for design review, File Nos. 1-NB-15 / 1-CUP-15

February 19, 2015

Dear members of the Planning Commission:

I am writing this letter in opposition to the proposed expansion design of the Inn at Nye Beach as it progresses through the planning and design review processes of the City of Newport.

I have owned a bungalow unit (No. 4) in the Lighthouse Lodges Condominium complex to the immediate north of the subject project for 42 years. As you can imagine I have seen a lot of change in the Nye Beach area, including the formation of the Nye Beach Historic District.

I know that other owners in our complex have pointed out that the proposed building is built to the north property line and will create roof overhangs that intrude into the air space of our property. Others have noted that a 47-foot tall, 3 plus story building does not reflect a "working class neighborhood" as envisioned in Design Guideline #5 of the Historic Nye Beach Design Review Requirements.

I also point out that SERA Architects, in a memorandum dated 2 September 2014 as part of their assistance to the 10-year Nye Beach Design Review Standards and Guidelines Task Force, state in part:

**Building Mass & Height**

In the meeting on 8/20/14, it was clear that the issue of building mass and height may be one where the divergence of community views is widest. While much of the SERA-prepared slides addressed the question: "How might (Newport) be able to tighten up our architectural design guidelines and standards to ensure large projects are consistent with the character of Nye Beach?" it seems that some members of the Task Force believe the question of "How large should buildings in the area be?" is of equal or greater importance. (pg. 5)

This is clearly an issue of "How large should a building in the area be?". The proposed project is 138-feet long on the Coast Street side, 80-feet long on our joint property line and 47-feet 3-inches tall. This is way out of proportion to the smaller building to the north and east.

None of the Inn's Planning Submittal drawings show a perspective of the proposed addition as it sits in the neighborhood. Attached are "Google Earth" photos of the area.

Attachment 1 is taken from the north looking south along NW Coast Street. Please note the smaller scale of the buildings on the east side of the street and two of Lighthouse Lodges four buildings on the west side. Also please note that the roof line of the Inn's existing three-story building will replace the existing two story building.

The SERA memorandum also reflects the Task Force's concern regarding the When and Where for solar access guidelines and standards.

**When** solar access is to be provided. State the times of day and year when access is to be assured, or which sun angles are to be maintained. Disallowing a shadow to fall on a neighboring property even when it is low in the sky (winter) will create a very low density development pattern, and may not provide much benefit, if the sun is not out much at those times.

**Where** on the neighboring property should solar access be protected? Is the goal to assure solar access to the rooftop (for example, to support functional solar panels), or all the way to the ground floor (where pedestrians will be most present), or a defined percentage of the façade that may be in shade? (pg. 6)

Essentially, because our buildings are only one story and because of the three-story addition being pushed to the property line, it appears that the Inn's addition will block the sun entirely for three of our homes. Our southern driveway/walkway to Coast Street will always be deeply shadowed.

Attachment 2 is taken from the northeast. The three units mentioned above are on the right and the Inn's existing buildings are on the left. All of their buildings have been built since I have owned next door. Note that in the existing design the building height changes from three-stories at the south end to two-stories at the north end. This is exactly what the SERA memorandum suggests as a way of minimizing the cumulative impacts of large buildings:

#### **Cumulative Impacts**

The most likely impacts of a cumulative development pattern of larger buildings are likely to be in the form of blocked views and solar shading. The comments above on those two strategies apply here, as well. Additionally, it would be worth exploration of a strategy of step-backs of buildings above the second level, to create a pattern of gaps for light and views, while still having a strong street frontage. (pg. 8)

Of course I am concerned about the negative impacts of this project on our properties, including resale value. But, I am also concerned about the effect of the project on the visual impression on the Eighth Street approach to Nye Beach and the ambiance of Historic Nye Beach generally. As stated above, I have had a second home in Nye Beach for forty-two years. This is the first project that I have seen during all forty-two years of development that produces such negative feelings about the impact on Nye Beach.

I thank the members of the Planning Commission for careful consideration and ask you to reject this design as inappropriate for Nye Beach Historic District.



Stephen E. Savage  
6 Preakness CT.  
Lake Oswego, OR 97035



Google earth

feet 10  
meters 4



Attachment 1





Google earth



Attachment 2