



PLANNING COMMISSION REGULAR SESSION AGENDA
Monday, September 22, 2025 - 7:00 PM
City Hall, Council Chambers, 169 SW Coast Hwy, Newport, OR 97365

All public meetings of the City of Newport will be held in the City Council Chambers of the Newport City Hall, 169 SW Coast Highway, Newport. The meeting location is accessible to persons with disabilities. A request for an interpreter, or for other accommodations, should be made at least 48 hours in advance of the meeting to the City Recorder at 541.574.0613, or cityrecorder@newportoregon.gov.

All meetings are live-streamed at <https://newportoregon.gov>, and broadcast on Charter Channel 190. Anyone wishing to provide written public comment should send the comment to publiccomment@newportoregon.gov. Public comment must be received four hours prior to a scheduled meeting. For example, if a meeting is to be held at 3:00 P.M., the deadline to submit written comment is 11:00 A.M. If a meeting is scheduled to occur before noon, the written comment must be submitted by 5:00 P.M. the previous day. To provide virtual public comment during a city meeting, a request must be made to the meeting staff at least 24 hours prior to the start of the meeting. This provision applies only to public comment and presenters outside the area and/or unable to physically attend an in person meeting.

The agenda may be amended during the meeting to add or delete items, change the order of agenda items, or discuss any other business deemed necessary at the time of the meeting.

- 1. Call to Order and Roll Call**
Commission Members: Bill Branigan, Bob Berman, Jim Hanselman, Gary East, Braulio Escobar, John Updike, and Robert Bare.
- 2. Approval of Minutes**
 - 2.A Approval of the Planning Commission Work Session Meeting Minutes of August 25, 2025.**
[Draft PC Work Session Minutes 08-25-2025](#)
[08-25-25 PC Work Session Meeting Video Link](#)
 - 2.B Approval of the Planning Commission Regular Session Meeting Minutes of August 25, 2025.**
[Draft PC Reg Session Minutes 08-25-2025](#)
[08-25-25 PC Regular Session Meeting Video Link](#)

3. Citizens/Public Comment

A Public Comment form is available immediately inside the Council Chambers. Anyone who would like to address the Planning Commission on any matter not on the agenda will be given the opportunity after submitting a form. Each speaker should limit comments to three minutes. The normal disposition of these items will be at the next scheduled Planning Commission meeting.

4. Public Hearings

4.A File No. 2-CUP-25: Conditional Use Permit for Toyota of Newport.

[Staff Report](#)

[Attachment A - Application Form](#)

[Attachment B - Lincoln County Assessor Property Record Card](#)

[Attachment C - Lincoln County Assessor Map](#)

[Attachment D - Applicant's Narrative](#)

[Attachment E - Site Plan, Fire Plan, Elevations, and Floor Plan, dated July 2025](#)

[Attachment F - Zoning and Utility Map](#)

[Attachment G - Plat of Sunset Dunes](#)

[Attachment H - Public Hearing Notice](#)

[Attachment I - Memo from Kittelson and Associates, dated 11/7/22](#)

[Attachment J - Old Site Plan by LRS Architects, dated 11/4/22](#)

[Attachment K - City - Email Correspondence Between Staff and ODOT](#)

5. Director Comments

6. Adjournment

**City of Newport
Draft Planning Commission Work Session Minutes
August 25, 2025**

LOCATION: CITY COUNCIL CHAMBERS, NEWPORT CITY HALL, 169 SW COAST HIGHWAY, NEWPORT	
Time Start: 6:00 P.M.	Time End: 7:07 P.M.

ATTENDANCE LOG/ROLLCALL

COMMISSIONER/ ADVISORY MEMBER	STAFF
Chair Bill Branigan	Derrick Tokos, Community Development Director
Commissioner Bob Berman	Sherri Marineau, Community Development Dept.
Commissioner Jim Hanselman	
Commissioner Gary East	
Commissioner Braulio Escobar	PUBLIC
Commissioner John Updike (absent, excused)	Marcy McInnelly, Urbsworks, Inc. (by video)
Commissioner Robert Bare	Troy Rundell
Citizen Advisory Member Dustin Capri (absent, excused)	

AGENDA ITEM	ACTIONS
WORK SESSION MEETING	
CALL TO ORDER AND ROLL CALL	
a. Roll Call	None.
2025 STATE OF OREGON LEGISLATIVE UPDATE.	<p>Tokos presented the “2025 Land Use Legislation Report” from DLCD, highlighting bills most relevant to Newport and outlining potential city responses.</p> <p>The Commission discussed whether rental assistance standards included manufactured dwellings, which Tokos confirmed would apply to any rental housing unit except short-term rentals. They reviewed DLCD’s budget assumptions, including Package 100’s elimination of the climate resiliency position, and Package 504’s focus on clarifying wetland boundaries—not promoting development on pristine wetlands.</p> <p>Additional topics included a proposed density bonus for affordable housing developments. Tokos summarized HB 2138, which defines urban development for counties—not Newport.</p> <p>The discussions continued about HB 2258 and HB 3031 which addressed stock plans for residential site criteria and infrastructure support for housing. SB 974 proposed land use review guidelines for UGBs with 20+ units. HB 3505 would prohibit new or increased SDCs for residential fire sprinkler systems. HB 3145</p>

	<p>offered funding for affordable manufactured housing. HB 3921 covered UGB land exchange rules. SB 83 repeals the State Wildfire Map and shifts defensible space and hazard requirements to local governments. HB 3963 extends the offshore wind roadmap. HB 2005 requires cities to allow residential treatment facilities and homes in most zones, with exceptions for hazard areas. SB 967 supports Local Improvement Districts involving multiple government entities. Finally, Berman asked about transit room tax flexibility, and Tokos noted it hadn't yet progressed through the Senate.</p>
<p>REVIEW CITY CENTER REVITALIZATION PLAN DESIGN GUIDELINES.</p>	<p>Consultant Marcy McInelly (Urbsworks, Inc.) reviewed the draft design guidelines for the City Center Design Review District.</p> <p>The Commission began by discussing Design Guideline #1, focused on the Connected Pedestrian Network and its applicability. Branigan asked about specialty paving, which McInelly explained referred to different types of surfacing. He also inquired about pedestrian-scale lighting and its compliance with dark sky provisions. Tokos responded that the city's code includes language for downward-directed lighting, which would be updated in the code accordingly.</p> <p>Design Guideline #2 addressed support for the multimodal network. Branigan asked whether provisions for electric bikes were needed. Tokos noted that while it's something the City should consider, it's not currently part of the code. Berman questioned the need for wayfinding to accommodate all modes of transportation, and McInelly confirmed that updates would be made for this. Branigan suggested adding a 10-foot green-painted bike box at intersections to signal bicyclist presence at green lights. Tokos advised against specifying such functions in the guidelines, preferring they be addressed in project design. Branigan emphasized incorporating safety discussions, and McInelly recommended using best practices for cyclists at intersections.</p> <p>Public member, Troy Rundell addressed the Commission and commented on building renovations in Corvallis, and proposed a path and train system to the valley.</p> <p>The Commission then reviewed Design Guideline #3 on Universal Design. Berman asked about curbless streets, and McInelly provided examples from Newport.</p>

	<p>Design Guideline #4 focused on Commercial Frontages. Hanselman raised concerns about corner businesses meeting all standards and how that could potentially distract drivers. McInelly suggested including limitations for corners to prevent distractions. Bare asked about signage size restrictions, which Tokos confirmed are addressed in the code.</p> <p>Design Guideline #5 on Residential Frontages was introduced without further discussion. Design Guideline #7 addressed Roof Form, with a need to align roof pitch ranges with existing clear and objective standards. Tokos reviewed new construction height standards. McInelly proposed increasing maximums to 50 feet in height and 75 feet in length for the City Center. The Commission generally agreed, and McInelly suggested expanding the 3D module used for discretionary review.</p>
COMMUNITY DEVELOPMENT ORIENTATION FOR COUNCIL (INFORMATIONAL ONLY).	None.
PLANNING COMMISSION WORK PROGRAM UPDATE.	None.

Submitted by: _____
 Sherri Marineau, Executive Assistant

08-25-2025 - Planning Commission Work Session Meeting Video Link:

https://thecityofnewport.granicus.com/player/clip/1478?view_id=2&redirect=true

City of Newport
Draft Planning Commission Regular Session Minutes
July 28, 2025

LOCATION: CITY COUNCIL CHAMBERS, NEWPORT CITY HALL 169 SW COAST HIGHWAY NEWPORT	
Time Start: 7:09 P.M.	Time End: 7:45 P.M.

ATTENDANCE LOG/ROLLCALL

COMMISSIONER/ ADVISORY MEMBER	STAFF
Chair Bill Branigan	Derrick Tokos, Community Development Director
Commissioner Bob Berman	Sherri Marineau, Community Development Dept.
Commissioner Jim Hanselman	
Commissioner Gary East	PUBLIC
Commissioner Braulio Escobar	AJ of Newport
Commissioner John Uptide (absent, excused)	
Commissioner Robert Bare	

AGENDA ITEM	ACTIONS
REGULAR MEETING	
CALL TO ORDER AND ROLL CALL	
a. Roll Call	None.
APPROVAL OF THE MINUTES	
a. Meeting minutes of Work Session Meeting on July 28, 2025.	Motion by Berman, seconded by Hanselman, to approve the work session meeting minutes of July 28, 2025 with corrections. MOTION carried unanimously with Branigan, Berman, Hanselman, East, Escobar, and Bare all voting in favor.
b. Meeting minutes of Regular Session Meeting on July 28, 2025.	Motion by Berman, seconded by Hanselman, to approve the regular session meeting minutes of July 28, 2025 as written. MOTION carried unanimously with Branigan, Berman, Hanselman, East, Escobar, and Bare all voting in favor.
c. Meeting minutes of Work Session Meeting on August 11, 2025.	Motion by Berman, seconded by Hanselman, to approve the regular session meeting minutes of August 11, 2025 as written. MOTION carried unanimously with Branigan, Berman, Hanselman, East, Escobar, and Bare all voting in favor.

<p>CITIZEN/PUBLIC COMMENT</p>	<p>AJ of Newport talked questioned the flexibility of room tax funds. He referenced the last City Council minutes that said the Rec Center HVAC system repairs came from room taxes. AJ asked why there wasn't funds from the room taxes for parking. He also questioned why it was used for HVAC systems but not for parking improvements. Berman described that this was a function of the budget process which determined how funds were allocated. AJ wanted to see room tax funds used for the Visual Arts Center. Tokos clarified that room taxes weren't eligible to be used for striping for parking.</p>
<p>PUBLIC HEARINGS</p> <p>File No. 2-CP-25: Amendments to the Wastewater Section of the Comprehensive Plan.</p> <ul style="list-style-type: none"> a. PUBLIC HEARING OPEN b. STAFF REPORT - DERRICK TOKOS c. PUBLIC COMMENT d. PUBLIC HEARING CLOSED e. COMMISSION DECISION <p>File No. 3-Z-25: Draft Zoning Ordinance Housekeeping Amendments.</p> <ul style="list-style-type: none"> a. PUBLIC HEARING OPEN b. STAFF REPORT - DERRICK TOKOS c. PUBLIC COMMENT 	<p>7:18 p.m.</p> <p>Mr. Tokos reviewed the staff report.</p> <p>The Commission discussed a minor typo in the Ordinance for the date of the public hearing. Berman noted Exhibit A didn't have underlines and felt it was hard to read.</p> <p>None.</p> <p>7:27 p.m.</p> <p>Motion was made by Berman, seconded by East, to make a favorable recommendation to the City Council for File 2-CP-25. MOTION carried unanimously with Branigan, Berman, Hanselman, East, Escobar, and Bare all voting in favor.</p> <p>7:28 p.m.</p> <p>Mr. Tokos reviewed the staff report.</p> <p>The Commission asked for confirmation that the markups on the draft ordinance would be presented for the City Council review.</p> <p>None.</p>

<p>d. PUBLIC HEARING CLOSED</p> <p>e. COMMISSION DECISION</p>	<p>7:37 p.m.</p> <p>Motion was made by Escobar, seconded by Berman, to make a favorable recommendation to the City Council for File 3-Z-25. MOTION carried unanimously with Branigan, Berman, Hanselman, East, Escobar, and Bare all voting in favor.</p>
<p>DIRECTORS COMMENTS</p>	<p>Tokos reported that the City Council would hold another hearing on the City Center Revitalization amendments on September 2nd. The hearing was continued to ensure a majority of members would be present to act on the decision. He noted that two additional hearings were scheduled for October. The OSU student housing pond dredging was nearing completion and was expected to wrap up by mid-October. The ribbon cutting for the new joint fire facility on the north side of town, a collaboration between the city and ODF, was planned for around October 24th. The island annexation process was also progressing, with individual notices being sent to property owners outlining the procedure and potential tax impacts. To encourage connections to city services, a rebate program would be implemented. Tokos added that a decision on the traffic impact analysis for the Wyndhaven Phase 3 development was anticipated soon. The Commission would hold a hearing for the Toyota dealership conditional use on September 22nd, and documentation for the 40th and US 101 signalization had been formally submitted to the State Traffic Engineer.</p>

Submitted by: _____

Sherri Marineau, Executive Assistant

08-25-2025 - Planning Commission Regular Session Meeting Video Link:

https://thecityofnewport.granicus.com/player/clip/1479?view_id=2&redirect=true

PLANNING STAFF REPORT

Case File No. 2-CUP-25

- A. **APPLICANT:** William Proctor, CFI Design Management (Jeff Atkinson, CFI Design Management, authorized representative)(SJ Automotive Investments, Inc., owner).
- B. **REQUEST:** Application for approval of a Conditional Use Permit to construct a 23,909+/- sq. ft. auto dealership with a showroom and vehicle repair. Existing buildings are to be removed.
- C. **LOCATION:** 3234 SW Coast Highway.
- D. **LEGAL DESCRIPTION:** Lots 4, 5 and 6, Plat of Sunset Dunes (Assessor's Map 11-11-17-DB, Tax Lots 02000, 02100 and 02200).
- E. **LOT SIZE:** 3.74 acres.
- F. **STAFF REPORT**

1. **REPORT OF FACT**

- a. **Plan Designation:** Commercial.
- b. **Zone Designation:** C-1/"Retail and Service Commercial."
- c. **Surrounding Land Uses:** Vacant commercial, OMSI Camp Gray, and mixed residential use to the west; retail to the south; mixed light-industrial and retail to the east; and vacant commercial to the north.
- d. **Topography and Vegetation:** The property is relatively flat, paved, and largely devoid of vegetation.
- e. **Existing Structures:** An auto dealership and repair building at the north end of the site and industrial warehouse/storage buildings on the south half of the property (five buildings total).
- f. **Utilities:** All are available to the site.
- g. **Development Constraints:** Tsunami Hazard Overlay.
- h. **Past Land Use Actions:**

File No. 4-CUP-22 – Conditional Use Permit to construct a 26,000+/- sq. ft. auto dealership with a showroom and vehicle repair. Existing buildings were to be removed.

File No. 1-CP-22/2-Z-22 – Amended the Comprehensive Plan Map from Industrial to Commercial and rezoned the property from I-1 to C-1. Highway setbacks were reduced and landscaping standards were amended.

File No. 1-SUB-13 – Plat of Sunset Dunes. Created the three lots in their current configuration, realigned SW Abalone Street, and vacated SW Anchor Way once Abalone/SW 35th Street connected to US 101.

- i. **Notification:** Notification to surrounding property owners and to city departments/public agencies was mailed on August 25, 2025, and notice of the September 22, 2025 public hearing was published in the Lincoln County Leader on September 10, 2025 (Attachment "H").

- j. **Attachments:**

- Attachment "A" – Application Form
- Attachment "B" – Lincoln County Assessor Property Record Card
- Attachment "C" – Lincoln County Assessor Map
- Attachment "D" – Applicant's Narrative
- Attachment "E" – Site Plan, Fire Plan, Elevations, and Floor Plan, dated July 2025
- Attachment "F" – Zoning and Utility Map
- Attachment "G" – Plat of Sunset Dunes
- Attachment "H" – Public Hearing Notice
- Attachment "I" – Memo from Kittelson and Associates, dated 11/7/22
- Attachment "J" – Old Site Plan by LRS Architects, dated 11/4/22
- Attachment "K" – Email Correspondence Between Staff and ODOT

- 2. **Explanation of the Request:** The applicant is seeking conditional use approval to replace the existing, single-story auto dealership and repair shop with a new 23,909+/- sq. ft. facility. The proposed building is smaller than the 26,000+/- sq. ft. version that the Planning Commission approved in 2022 (File No. 4-CUP-22). The building footprint appears to have been shifted slightly to the west and elements were removed from the south facing elevation. The proposed parking arrangement is very similar to the original one, with the only material difference being the addition of parking between the proposed building and US 101. Required parking to the south of the building, and inventory parking north of the building and along the west property line is identical to the original proposal. The same is true with respect to the driveway locations and alignment, with access along US 101 being consolidated from three driveways to one, with two driveways serving the site from SW 35th. Perimeter landscaping and the placement of landscape islands is similar to the 2022 concept, with minor adjustments. All existing buildings will be removed, with work being phased such that the dealership will continue to operate during construction. The applicant's site plan, emergency vehicle circulation plan, building elevations, and floorplan are included as Attachment "E," and the 2022 site plan is included for comparison as Attachment "J."

Per Newport Municipal Code (NMC) Section 14.03.070(2)(b), auto sales are classified as a bulk-retail use that requires conditional use approval in the C-1/"Retail and Service Commercial" zone district. Vehicle repair is also a conditional use in the zone (NMC 14.03.070(4)). Accordingly, conditional use review is required.

3. **Evaluation of the Request:**

a. **Comments:** The only comments received were from the Oregon Department of Transportation (ODOT) on 8/26/25. The Agency notes that the applicant will need to obtain a permit for the driveway, landscaping, and related work that they will be doing within the US 101 right-of-way.

b. **Conditional Use Criteria (NMC Chapter 14.34.050):**

(1) The public facilities can adequately accommodate the proposed use.

(2) The request complies with the requirements of the underlying zone or overlay zone.

(3) The proposed use does not have an adverse impact greater than existing uses on nearby properties; or impacts can be ameliorated through imposition of conditions of approval.

(4) A proposed building or building modification is consistent with the overall development character of the neighborhood with regard to building size and height, considering both existing buildings and potential buildings allowable as uses permitted outright.

c. **Staff Analysis:**

To grant the permit, the Planning Commission must find that the applicant's proposal meets the criteria listed below. With this application, the applicant did not provide detailed narrative, so staff is using applicant statements from the 2022 proposal where the information still appears to be relevant.

(1) **The public facilities can adequately accommodate the proposed use.**

The applicant points out that existing and continued use will not significantly alter or increase traffic to the site. Vehicle traffic will continue to be served by US 101 and SW 35th Street. Off-street parking is provided on-site to customers and employees. New storm water runoff will be treated and connected to existing storm drains. All other existing utilities can adequately serve the existing and continued use.

Public facilities are defined in the Zoning Ordinance as sanitary sewer, water, streets and electricity. All public facilities are available and presently serve the property. Water service is available via a 12-inch main along SW 35th Street. Wastewater service is available from 8-inch mains in SW 35th and SW 32nd Street. A structured storm drainage system directs run-off into a water quality treatment swale on the east side of US 101, opposite the property or a piped system running along US 101 and 35th Street. A zoning and utility map shows the location of the services relative to the applicant's property (Attachment "F").

Given the above, it is reasonable for the Planning Commission to find that the public facilities can adequately accommodate the use.

- (2) The request complies with the requirements of the underlying zone or overlay zone.

The applicant notes that, per City of Newport Ordinance No. 2196, Chapter 14.03.070, the use is allowed as a conditional use, in the C-1 zone. The site will include Retail Sales and Service: Sales-Oriented, Bulk Retail and Vehicle Repair. The use as an auto dealership is existing and will continue similar activities in the proposed scope of work (Attachment "D").

Compliance with the underlying zone or overlay zone includes other elements of the Zoning Ordinance applicable to the proposed use. This includes satisfying height limitations (NMC Chapter 14.10), setback requirements (NMC Chapter 14.11), density limitations (NMC Chapter 14.13), parking and loading requirements (NMC Chapter 14.14), clear vision areas (NMC Chapter 14.17), landscaping standards (NMC Chapter 14.19), transportation standards (NMC Chapter 14.44), traffic analysis (NMC Chapter 14.44), vehicular access and circulation (NMC Chapter 14.46) and pedestrian access (NMC Chapter 14.47).

Applicant's site plan and elevation drawings (Attachment "E") and memo from Kittelson and Associates (Attachment "I") illustrate that the project satisfies these requirements, with the following exceptions:

The project is substantially compliant with the City's parking and loading requirements of NMC Chapter 14.14; however, there are a few additional details that need to be addressed. This chapter of the code applies to required parking. As indicated in Section 14.14.030, required parking must be available to customers and employees and does not include spaces for storage or sale of merchandise. An automotive dealership is a bulk retail use, and the applicant accurately notes that such uses require one parking space for every 600 square feet of floor area. For a 23,909 sq. ft. facility, that equates to 40 spaces. Applicant provides the required parking east and south of the building. The balance of the parking is dedicated to inventory and service use.

Section 14.14.050 requires that accessible and electric vehicle parking be provided consistent with the Oregon Structural Specialty Code. The location of accessible parking is shown on the site plan; however, it is not clear how the electrical vehicle requirements will be met. Per ORS 455.417 (HB 2180) this project will be required to address the electrical service and conduit needs for at least 20 percent of the required parking. Additionally, the required accessible pathway from the US 101 sidewalk to the building entrance is right in front of the service reception vehicle bays. It is unclear how those bays are to be accessed or if the accessible pathway will be obstructed by queued vehicles. This needs to be clarified by the applicant.

Section 14.14.070 sets out requirements for bicycle parking. Two bicycle parking spaces are required, each being at least 2.5-ft x 6-ft in size with a stationary rack that the bicycles can be locked to (or a lockable enclosure). It is unclear where on the site that bicycle parking will be provided.

Section 14.14.090(E) of the parking chapter requires that lighting from parking lots be designed and located as to not glare onto neighboring residential properties. The closest residential properties are to the northwest, and given the distance the applicant could address this standard by shielding lighting so that it is downward directed.

Section 14.14.110 notes that a designated loading space is required for a building of this size. The loading space must be at least 35-ft in length, 10-ft in width, with at least 14-ft of vertical clearance. There appears to be a number of locations on the property where a formal loading area can be designated, it just needs to be added to the plans.

Landscaping standards for parking areas are not limited to required parking, but apply to all parking areas provided on a property (NMC Section 14.19.050(D)). This code section requires that landscape islands or planting areas with trees be installed to breakup parking areas into rows of not more than 12 contiguous parking spaces. Landscape islands or planters must be a minimum of 48 sq. ft. in size with a minimum dimension of 6-feet. The applicant's landscape islands appear to be properly sized and located to break up long stretches of contiguous parking spaces. However, a landscape plan was not included with the application to show how the planting requirements will be met. Additionally, the interface between the proposed landscaped area at the north end of the site and the road approach is poorly defined. Additional information is needed to show where vehicles that take this access will go. This could be as simple as providing a landscape barrier along the north property line and a paved area for vehicles to turn around.

Section 14.44.050(A) requires that streets adjacent to a development satisfy the requirements of Section 14.44.060. US 101 was recently rebuilt adjacent to the subject property, with sidewalk and bike lanes. While the Transportation System Plan calls for a separated bike facility between the bridge and 35th Street, that project should be constructed as part of a future highway improvement to avoid creating safety issues for motorists. Accordingly, the City can accept a non-remonstrance agreement in lieu of requiring the improvement at this time (Section 14.44.050(D)). Sidewalk is required and needed along the property's SW 35th Street frontage (Section 14.44.060(I)). There is sufficient area within the right-of-way and easements to place the sidewalk, and the site plan needs to be modified to show the improvement.

It would be reasonable for the Planning Commission to find that it is feasible the applicant can modify their proposal to address the issues outlined above and that a revised plan be provided with building permit application. Conditions of approval for each item are included below and, as conditioned, the Commission could conclude that this conditional use criterion has been satisfied.

- (3) The proposed use does not have an adverse impact greater than existing uses on nearby properties; or impacts can be ameliorated through imposition of conditions of approval.

The applicant notes that the existing and continued use will improve the area by increasing activity within the building and site. Site improvements will be designed to

meet current jurisdiction requirements. These include minimum landscaping areas, landscaping along frontages, and landscape islands within parking areas. A traffic engineer has determined that the traffic impact on the site will be minimal. Pending city approval, the traffic engineer suggests that no trip-based thresholds are triggered to require a full traffic study. The proposal will reduce the number of driveways on the highway, which meets ODOT traffic management principles. Additionally, the surrounding properties on all sides are zoned with the same commercial zone designation and are therefore complementary with this use.

With respect to whether or not the project triggers the City's traffic analysis requirements, Section 14.45.010(C) requires the analysis for proposals that generate 500 or more average daily trips or 50 PM peak hour trips. The memo from Kittelson and Associates (Attachment "I") shows that when deducting the impact of the existing dealership use, the project will add 394 new daily trips and 34 PM peak hour trips, meaning that the project falls below the threshold that would require traffic analysis.

Given the above, it is reasonable for the Planning Commission to find that this criterion has been satisfied.

- (4) A proposed building or building modification is consistent with the overall development character of the neighborhood with regard to building size and height, considering both existing buildings and potential buildings allowable as uses permitted outright.

The applicant notes that, per City of Newport Ordinance No. 2196, Chapter 14.13.010, the property will adhere to density requirements stated in Table "A". The proposed building height is approximately 26'-3" (50'-0" max). The building setback is greater than the minimum requirement of 15'-0" from US 101 with no setback requirements along the side and rear. The height of the proposed building is complementary to the surrounding one to three story buildings.

The subject site consists of Tax Lots 02000, 02100, and 02200 the boundaries of which are depicted on the applicant's site plan. While there are no building setbacks, a covenant will need to be recorded prohibiting the sale of properties independent of one another, since the proposed building is situated on portions of all three properties. This can be addressed as a condition of approval.

South Beach includes a mix of commercial and industrial buildings of various sizes. At 23,909 sq. ft. the building will be larger than many in the immediate vicinity of the site; however, it is well below the size of some structures such as Rogue Brewery to the north, the Oregon Coast Aquarium to the east and the former Central Lincoln maintenance facility to the southeast.

Signage included on the applicant's site plan might exceed the 200 square foot maximum display area per street frontage for non-exempt signs other than mural signs (NMC 10.10.085(G)). This is with regards to the east facing elevation, considering the wall and monument signage. It is feasible that the signage can be adjusted to conform with this requirement, and City review and approval of a sign permit is an appropriate mechanism for confirming compliance.

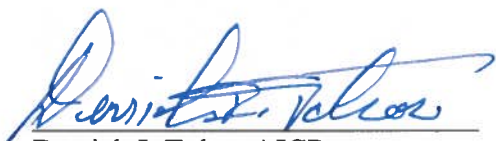
Given the above, it is reasonable for the Planning Commission to find that the use will be consistent with the overall development character of the neighborhood regarding building size and height.

4. **Conclusion:** If the Planning Commission finds that the applicant has met the criteria established in the Zoning Ordinance for granting a conditional use permit, then the Commission should approve the request. The Commission can attach reasonable conditions that are necessary to carry out the purposes of the Zoning Ordinance and the Comprehensive Plan. If the Commission finds that the request does not comply with the criteria, then the Commission should deny the application.

G. **STAFF RECOMMENDATION:** As outlined in this report, this application for an auto dealership with a showroom and vehicle repair can satisfy the approval criteria for a conditional use provided conditions are imposed as outlined below. Accordingly, the Commission should approve this request, subject to the following:

1. Approval of this land use permit is based on the submitted written narrative and plans listed as Attachments to the staff report. No use shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the applicant/property owner to comply with these documents and the limitations of approval described herein.
2. Applicant shall provide an updated set of plans with the building permit submittal that demonstrates the following requirements have been satisfied:
 - a. Consistent with Newport Municipal Code (NMC) Section 14.14.050, electric vehicle charging infrastructure shall be provided consistent with the Oregon Structural Specialty Code, including rules implementing HB 2180 (2021).
 - b. Demonstrate how vehicles will access and queue up to the service reception vehicle bays facing US 101 and that such an arrangement will not interfere with the required accessible pathway from US 101 to the building entrance (Section 14.14.050).
 - c. Two 2.5ft x 6-ft bicycle parking spaces and a rack or lockable enclosure are to be provided consistent with Section 14.14.070.
 - d. Light fixture details shall be provided, and pole placement locations identified, to establish that exterior lighting of parking areas will not glare onto neighboring residential properties (Section 14.14.090(E)).
 - e. A formally designated loading space shall be provided, with such space being at least 35-ft in length, 10-ft in width, with a minimum of 14-ft of vertical clearance (Section 14.14.110).
 - f. Provide a landscape plan showing that the planting requirements outlined in Section 14.19.050 are being satisfied, including steps that will be taken to define the north boundary of the site in a manner that makes it clear where vehicles are to go that utilize the US 101 approach at SE 32nd Street.

- g. The property owner shall sign consent to participate in any local improvement districts that the parcels abutting US 101 would be part of once those districts are formed, for the purpose of constructing a separated bicycle lane along US 101 between the Yaquina Bay Bridge and 35th Street. Said consent and agreement shall be a separate document recorded upon the subject lots. The document shall be recorded by the property owner prior to occupancy.
 - h. Sidewalk shall be added along SW 35th Street beginning at the 35th/US 101 intersection, and extending west to end of the property frontage (Section 14.44.060(I)). Such sidewalk shall be installed and accepted by the Newport Public Works Department prior to occupancy.
3. The property owner shall record a covenant, or equivalent legal instrument, prohibiting the sale of the properties identified as Tax Lots 02000, 02100, and 02200 independent of one another while there is a building encroaching over the common property lines. A copy of the recorded document shall be provided to the Community Development Department prior to occupancy.
 4. A sign permit shall be obtained establishing that the signs shown comply with the requirements of Chapter 10.10 of the Newport Municipal Code, including the provision limiting each street frontage to no more than 200 sq. ft. of display area for all non-exempt signs other than mural signs (Section 10.10.085(G)).



Derrick I. Tokos AICP
Community Development Director
City of Newport

September 4, 2025



City of Newport Land Use Application

Applicant Name(s):	Property Owner Name(s) <i>if other than applicant</i>
William Proctor / CFI Design Management	SJ Automotive Investments, Inc.
Applicant Mailing Address:	Property Owner Mailing Address:
6296 Rucker Rd, Suite C Indianapolis,	1250 East I-30
Applicant Phone No.	Property Owner Phone No.
1-317-259-0038	Rockwall, TX. 75087
Applicant Email	Property Owner Email
wproctor@cfidm.com	danielaf@jacksonautomotivegroup.com
Authorized Representative(s): <i>Person authorized to submit and act on this application on applicant's behalf</i>	
Jeff Atkinson / CFI Design Management	
Authorized Representative Mailing Address:	
6296 Rucker Rd, Suite C	
Authorized Representative Telephone No.	
1-463-290-2897	
Authorized Representative Email. jatkinson@cfidm.com	

Project Information

Property Location: <i>Street name if address # not assigned</i>	
3234 SW Coast Hwy Newport, OR. 97365	
Tax Assessor's Map No.:	Tax Lot(s):
Zone Designation:	Legal Description: <i>Add additional sheets if necessary</i>
Comp. Plan Designation:	
Brief description of Land Use Request(s):	
1. Build a new Toyota Dealership	
2. Demolish the old Toyota Dealership	

7 total, six are small structures less than 4,000SF, then one Toyota Dealership.

Topography and Vegetation:

Relatively flat topography with some grass areas, a few trees.

Application Type (please check all that apply)

- | | | |
|---|--|---|
| <input type="checkbox"/> Annexation
<input type="checkbox"/> Appeal
<input type="checkbox"/> Comp Plan/Map Amendment
<input type="checkbox"/> Conditional Use Permit
<input type="checkbox"/> PC
<input type="checkbox"/> Staff
<input checked="" type="checkbox"/> Design Review
<input type="checkbox"/> Geologic Permit | <input type="checkbox"/> Interpretation
<input type="checkbox"/> Minor Replat
<input type="checkbox"/> Partition
<input type="checkbox"/> Planned Development
<input type="checkbox"/> Property Line Adjustment
<input type="checkbox"/> Shoreland Impact
<input type="checkbox"/> Subdivision
<input checked="" type="checkbox"/> Temporary Use Permit | <input type="checkbox"/> UGB Amendment
<input type="checkbox"/> Vacation
<input type="checkbox"/> Variance/Adjustment
<input type="checkbox"/> PC
<input type="checkbox"/> Staff
<input type="checkbox"/> Zone Ord/Map
<input type="checkbox"/> Amendment
<input type="checkbox"/> Other |
|---|--|---|

FOR OFFICE USE ONLY

File No. Assigned: 2-CUP-25		
Date Received: 8/12/2025	Fee Amount: \$1050 -	Date Accepted as Complete:
Received By: gm	Receipt No. 9165	Accepted By:
City Hall 169, SW Coast Hwy Newport, OR 97365 541.574.0629		
625-25-000040-PLNG		



City of Newport Land Use Application

I understand that I am responsible for addressing the legal criteria relevant to my application and that the burden of proof justifying an approval of my application is with me. I also understand that this responsibility is independent of any opinions expressed in the Community Development and Planning Department Staff Report concerning the applicable criteria.

I certify that, to the best of my knowledge, all information provided in this application is accurate.

William Proctor

8-5-2025

Applicant Signature(s)

Date

DocuSigned by:

Steve Jackson

8/11/2025

Property Owner Signature(s) (if other than applicant)

Date

Authorized representative Signature(s) (if other than applicant)

Date

Please note application will not be accepted without all applicable signatures.

Please ask staff for a list of application submittal requirements for your specific type of request.

LINCOLNPROD PROPERTY RECORD CARD

Property ID: R18822

Map and Taxlot: 11-11-17-DB-02000-00

Tax Year: 2025

Run Date: 9/3/2025 3:38:06 PM

PROPERTY SITUS ADDRESS
3234 S COAST HWY
Maintenance Area: 4-13**OWNER NAME AND MAILING ADDRESS**
SJ AUTOMOTIVE REAL ESTATE
INVESTMENTS LLC
STEVEN J JACKSON
1250 EAST I 30
ROCKWALL, TX 75087**LEGAL DESCRIPTION**
SUNSET DUNES, LOT 4, ACRES 2.02,
DOC201807456Acres: 2.02 Sqft: 88000
Effective Acres: 2.02**GENERAL PROPERTY INFORMATION**
Prop Class: 231
NBH Code: S166
Prop Type Code: COM
Prop Code: Z9: COMMERCIAL SOUTH & NEWPO
Next Appr Date:
Next Appr Reason:
Last Appr Date: 01/14/2025
Appraiser: CW, CW
Zoning: I-1
Code Area: 124
Related Accts:**VALUE HISTORY**

Year	Land RMV	Imp RMV	Total RMV	Total AV	LSU Value
2024	765,530	610,670	1,376,200	1,087,580	0
2023	769,220	530,960	1,300,180	1,055,910	0
2022	726,830	505,070	1,231,900	1,025,160	0
2021	672,310	417,650	1,089,960	995,310	0
2020	587,520	378,810	966,330	966,330	0
2019	587,520	378,810	966,330	960,500	0

ASSESSMENT INFORMATION

Land Non-LSU:	544,850	Prior MAV:	1,087,580	Except RMV:	0
Improvement:	493,770	Prior MAV Adj:	0	CPR:	
Non-LSU RMV Total:	1,038,620	Prior AV:	1,087,580	EX. MAV:	0
Land LSU:	0	Prior AV Adj:	0	LSU:	0
RMV Total:	1,038,620	AV +3%:	1,120,207	New M50 AV:	1,038,620

SALES INFORMATION

Date	Type	Sale Price	Adj Sale Price	Validity	Inst. Type	Sale Ref
07/31/2018	18			SALE	SWD SPECIAL WAR	201807456
09/11/1992	07			SALE	WD WARRANTY DEE	MF250-0776
	37			SALE	MISC MISCELLANE	M-2663

BUILDING PERMITS AND INSPECTIONS

Type	Appraiser	Issue Date	Date Checked	% Comp	Comment
CNC1: BUILDING - COM Z9, Z		01/01/2026		0	DESC: 625-23-000205-STR. New one story auto dealership and service building.

PARCEL COMMENTS
GenLink- R23537-L, R21185-L
GenFlag- M_13C,M_15C,M_24C,M_25C
GenCom- 2015-16 JV#155 REMAPPED, LESS PTN OF ROADS, PLUS PTN OF TL2100 & TL 2200, ENTERED 1-26-15.
Prop-Note- 96YES,OWNER,TOBY MURRY MOTORS,24YES,25NO
Land- PTO W/TL'S 1201 AND 1300.**EXEMPTIONS**

Code	Exempt RMV
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Exceptions

Code	Year	Amount	Method
NI	2024	1,000	1
NI	2024	1,000	1
RC	2018	-209,700	4
LL	2015	-81,940	4

MARKET LAND INFORMATION

Type	Table	Method	Acres	Base Value	Adjustment Code - %	NBHD %	Total Adj %	Final Value
CS: COMMERCIAL DEV SITE	4SBIA	A	2.020	230,000	S-90,LOC-125	0.000	1.125	522,680
CSD: COMMERCIAL SITE DEV	SOSC	LT	0.000	22,170		0.000	0.000	22,170
Total Acres:			2.020			Total Market Land Value:		544,850

LAND SPECIAL USE

Code	SAV	Unt	Pr	MSAV	Unt	Pr	LSU
Total LSU:							0

LINCOLNPROD PROPERTY RECORD CARD

Property ID: R18822

Map and Taxlot: 11-11-17-DB-02000-00

Tax Year: 2025

Run Date: 9/3/2025 3:38:06 PM

RESIDENTIAL & MISC. IMPROVEMENTS

No.	Res Type	Bldg Type	Year Blt	Eff Year	Tot Liv Area	Beds	Adjustment Code-%	Total Adj %	RCN	% Comp	Trends	RMV	MH Make	MH Model
1	R: RESIDENTIAL	100			0				830	0		830		
2	R: RESIDENTIAL	100			0				830	0		830		

RESIDENTIAL & MISC. IMPROVEMENT COMMENTS

Imp No.1- 2 CAR CHARGERS; Imp No.1.1- CHARGE POINT CHARGER; Imp No.2- 2 CAR CHARGERS; Imp No.2.1- CHARGE POINT CHARGER

RESIDENTIAL & MISC IMPROVEMENT SEGMENTS

ImpType	No.	Seg Type	Meth	Cls	YrBlt	EffYr	Area	Segment Details	Adjustment Code - %	RCN	%Good	NBH%	Seg Value
R	1.1	CC	R	CC2	2023	2023	1			1,000	83	0	830
R	2.1	CC	R	CC2	2023	2023	1			1,000	83	0	830

COMMERCIAL IMPROVEMENTS

No.	Inst. ID	OAA Seg	Business Name	Occupancy	Class	Occ %	Stories	Hgt	Rank	Yr Blt	Eff Yr	Area	Perim	Adjustment Code-%	NBHD %	Total Adj %	RCNLD	MS Depr %	RMV
1.1	2235683	MA		528-Service		100	1		2.0			10,978	518.00		1.520	1.520	272,658	0	414,440
1.2	2235685	MPS		528-Service		100	1		2.0			480	94.00		1.520	1.520	2,000	0	3,040
1.3	2235687	AS		163-Site Imp		100	1		2.0			29,500			1.520	1.520	20,134	0	30,600
1.4	2235688	GPB		528-Service		100	1		2.0			1,500	160.00		1.520	1.520	26,466	0	40,230
1.5	2235689	MPS		528-Service		100	1		2.0			984	130.00		1.520	1.520	2,500	0	3,800

Total RMV: 492,110

COMMERCIAL ADDITIONS

No.	Instance ID	Type	Desc	Value
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COMMERCIAL BASEMENTS

No.	Instance ID	Bsmt Type	Area	Depth
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COMMERCIAL COMMENTS

LINCOLNPROD PROPERTY RECORD CARD

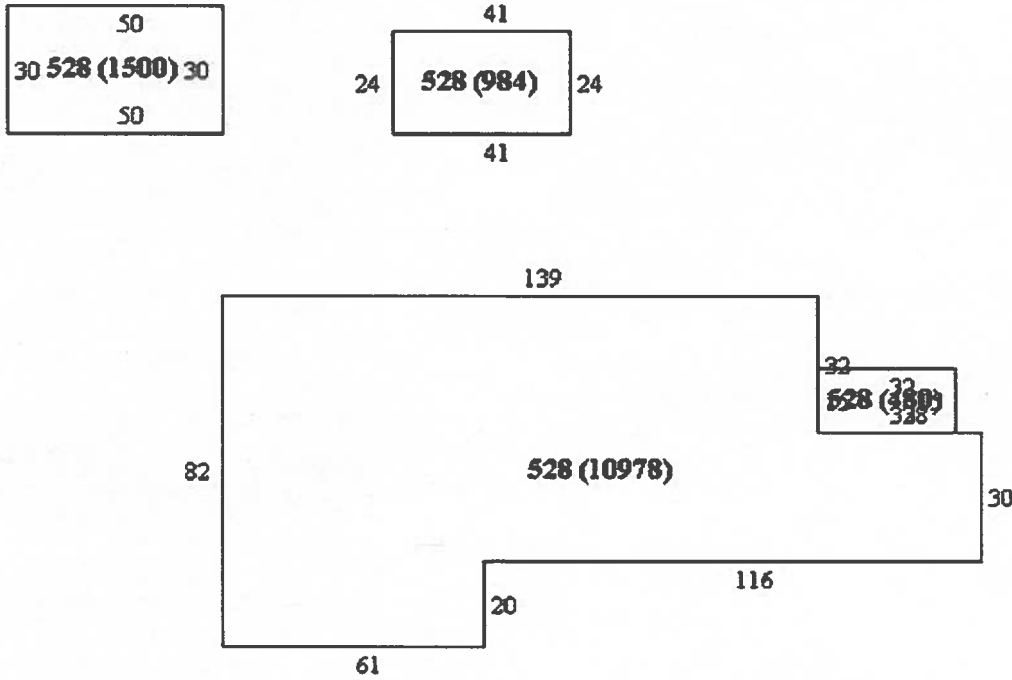
Property ID: R18822

Map and Taxlot: 11-11-17-DB-02000-00

Tax Year: 2025

Run Date: 9/3/2025 3:38:06 PM

Situs: 3234 S COAST HWY



SKETCH VECTORS: A0CR61U20R116U30L38U32L139D82,A0R61U20R116U30L38CU15R32D15L32,A0U120CL50U30R50D30,A0U120R40CR41U24L41D24

SKETCH COMMENTS:

LINCOLNPROD PROPERTY RECORD CARD

Property ID: R21185

Map and Taxlot: 11-11-17-DB-02100-00

Tax Year: 2025

Run Date: 9/3/2025 3:39:07 PM

PROPERTY SITUS ADDRESS

3441 SW ANCHOR WAY
Maintenance Area: 4-13

GENERAL PROPERTY INFORMATION

Prop Class: 231
NBH Code: S166
Prop Type Code: COM
Prop Code: Z9: COMMERCIAL SOUTH & NEWPO
Next Appr Date:
Next Appr Reason:
Last Appr Date: 01/14/2025
Appraiser: CW, CW
Zoning: I-1
Code Area: 124
Related Accts:

OWNER NAME AND MAILING ADDRESS

SJ AUTOMOTIVE REAL ESTATE
INVESTMENTS LLC
STEVEN J JACKSON
1250 EAST I 30
ROCKWALL, TX 75087

LEGAL DESCRIPTION

SUNSET DUNES, LOT 6, ACRES 0.74,
DOC201807456

VALUE HISTORY

Year	Land RMV	Imp RMV	Total RMV	Total AV	LSU Value
2024	170,240	276,870	447,110	329,760	
2023	164,410	241,520	405,930	320,160	
2022	155,350	229,740	385,090	310,840	
2021	143,700	189,980	333,680	301,790	0
2020	125,580	172,310	297,890	293,000	0
2019	125,580	172,310	297,890	284,470	0

ASSESSMENT INFORMATION

Land Non-LSU:	249,810	Prior MAV:	329,760	Except RMV:	0
Improvement:	223,840	Prior MAV Adj:	0	CPR:	
Non-LSU RMV Total:	473,650	Prior AV:	329,760	EX. MAV:	0
Land LSU:	0	Prior AV Adj:	0	LSU:	0
RMV Total:	473,650	AV +3%:	339,653	New M50 AV:	339,650

SALES INFORMATION

Date	Type	Sale Price	Adj Sale Price	Validity	Inst. Type	Sale Ref
07/31/2018	18			SALE	SWD SPECIAL WAR	201807456
09/11/1992	07			SALE	WD WARRANTY DEE	MF250-0776

Acres: 0.74 Sqft: 32234
Effective Acres: 0.74

BUILDING PERMITS AND INSPECTIONS

Type	Appraiser	Issue Date	Date Checked	% Comp	Comment
CDP: DESTROYED PR	Z9, Z	01/01/2026		0	

PARCEL COMMENTS

GenLink- R18822-L
GenFlag- M_13C,M_18C,M_25C
GenCom- 2015-16 JV#155 REMAPPED,PTN TO AND FROM ROADS, ENTERED 1-26-15.
Land- PTO W/TL'S 1200 AND 1300.

EXEMPTIONS

Code Exempt RMV

Exceptions

Code	Year	Amount	Method
RC	2018	152,170	4
DV	2015	128,760	7

MARKET LAND INFORMATION

Type	Table	Method	Acres	Base Value	Adjustment Code - %	NBHD %	Total Adj %	Final Value
CS: COMMERCIAL DEV SITE	4SBIA	A	0.740	230,000	S-107,LOC-125	0.000	1.338	227,640
CSD: COMMERCIAL SITE DEV	SOSC	LT	0.000	22,170		0.000	0.000	22,170
Total Acres:			0.740			Total Market Land Value:		249,810

LAND SPECIAL USE

Code	SAV	Unt	Pr	MSAV	Unt	Pr	LSU
Total LSU:							0

LINCOLNPROD PROPERTY RECORD CARD

Property ID: R21185

Map and Taxlot: 11-11-17-DB-02100-00

Tax Year: 2025

Run Date: 9/3/2025 3:39:07 PM

COMMERCIAL IMPROVEMENTS

No.	Inst. ID	OAA Seg	Business Name	Occupancy	Class	Occ %	Stories	Hgt	Rank	Yr Blt	Eff Yr	Area	Perim	Adjustment	Code-%	NBHD %	Total Adj %	RCNLD	MS Depr %	RMV
1.1	2274901	GPB		528-Service		100	1		2.0			3,024	240.00			1.520	1.520	47,409	0	72,060
1.2	2274903	GPB		528-Service		100	1		2.0			3,024	240.00			1.520	1.520	47,409	0	72,060
1.3	2274904	GPB		528-Service		100	1		2.0			3,024	240.00			1.520	1.520	47,409	0	72,060
1.4	2274905	AS		163-Site Imp		100	1		2.0			6,000				1.520	1.520	5,040	0	7,660
Total RMV:																				223,840

COMMERCIAL ADDITIONS

No.	Instance ID	Type	Desc	Value
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COMMERCIAL BASEMENTS

No.	Instance ID	Bsmt Type	Area	Depth
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COMMERCIAL COMMENTS

LINCOLNPROD PROPERTY RECORD CARD

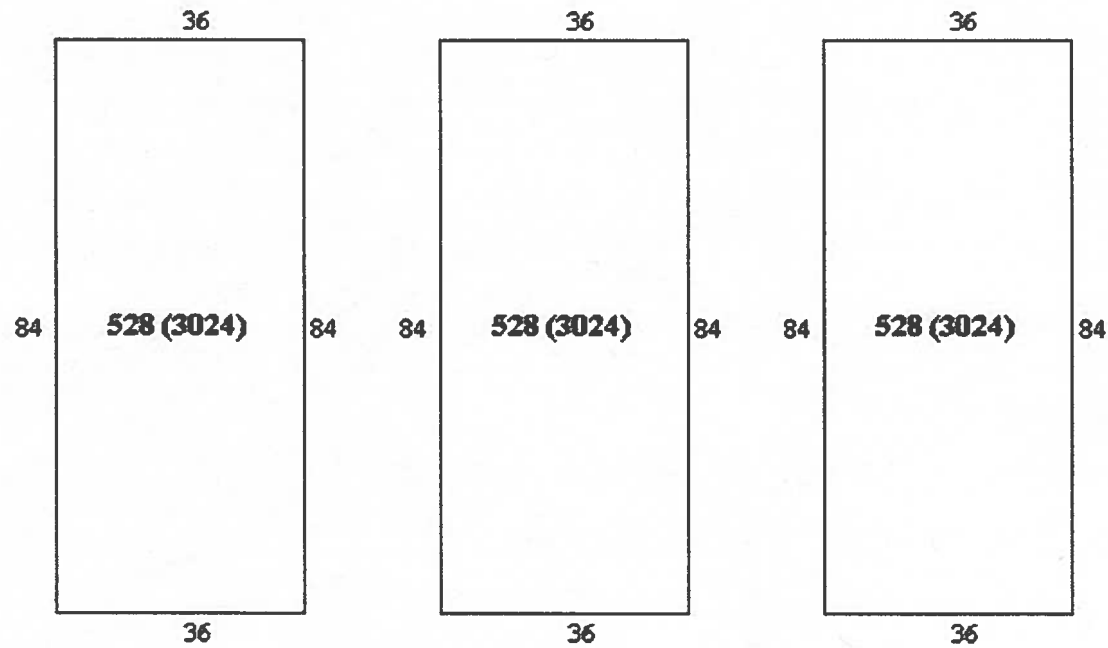
Property ID: R21185

Map and Taxlot: 11-11-17-DB-02100-00

Tax Year: 2025

Run Date: 9/3/2025 3:39:07 PM

Situs: 3441 SW ANCHOR WAY



SKETCH VECTORS: A0CR36U84L36D84,A0R56CR36U84L36D84,A0R112CR36U84L36D84

SKETCH COMMENTS:

LINCOLNPROD PROPERTY RECORD CARD

Property ID: R23537

Map and Taxlot: 11-11-17-DB-02200-00

Tax Year: 2025

Run Date: 9/3/2025 3:40:11 PM

PROPERTY SITUS ADDRESS

3414 S COAST HWY
Maintenance Area: 4-13

OWNER NAME AND MAILING ADDRESS

SJ AUTOMOTIVE REAL ESTATE
INVESTMENTS LLC
STEVEN J JACKSON
1250 EAST I 30
ROCKWALL, TX 75087

LEGAL DESCRIPTION

SUNSET DUNES, LOT 5 PTN, ACRES 0.98,
DOC201807456 LESS DOC202003152

GENERAL PROPERTY INFORMATION

Prop Class: 231
NBH Code: S166
Prop Type Code: COM
Prop Code: Z9: COMMERCIAL SOUTH & NEWPO
Next Appr Date:
Next Appr Reason:
Last Appr Date: 01/14/2025
Appraiser: CW, CW
Zoning: I-1
Code Area: 124
Related Accts:

VALUE HISTORY

Year	Land RMV	Imp RMV	Total RMV	Total AV	LSU Value
2024	247,570	122,140	369,710	261,480	
2023	242,980	106,540	349,520	253,870	
2022	229,580	101,350	330,930	246,480	
2021	212,370	83,810	296,180	239,310	0
2020	185,580	76,010	261,590	232,340	0
2019	189,150	76,010	265,160	257,680	0

ASSESSMENT INFORMATION

Land Non-LSU:	303,920	Prior MAV:	261,480	Except RMV:	0
Improvement:	98,750	Prior MAV Adj:	0	CPR:	
Non-LSU RMV Total:	402,670	Prior AV:	261,480	EX. MAV:	0
Land LSU:	0	Prior AV Adj:	0	LSU:	0
RMV Total:	402,670	AV +3%:	269,324	New M50 AV:	269,320

SALES INFORMATION

Date	Type	Sale Price	Adj Sale Price	Validity	Inst. Type	Sale Ref
07/31/2018	18			SALE	SWD SPECIAL WAR	201807456
09/11/1992	07			SALE	WD WARRANTY DEE	MF250-0776
	37			SALE	MISC MISCELLANE	M-2663

Acres: 0.98 Sqft:
Effective Acres: 0.98

BUILDING PERMITS AND INSPECTIONS

Type	Appraiser	Issue Date	Date Checked	% Comp	Comment
CDP: DESTROYED PR Z9, Z		01/01/2026		0	

PARCEL COMMENTS

GenLink- R18822-L
GenFlag- M_13C,M_15C,M_18C,M_20C,M_25C
GenCom- 20/21 JV#168 0.02AC TO ROAD, ENT 04/24/20. 2015-16 JV#155 REMAPPED, PTN TO AND FROM ROADS, ENTERED 1

EXEMPTIONS

Code Exempt RMV

Exceptions

Code	Year	Amount	Method
LL	2020	232,340	8
RC	2018	57,530	4
DV	2015	200,000	7

MARKET LAND INFORMATION

Type	Table	Method	Acres	Base Value	Adjustment Code - %	NBHD %	Total Adj %	Final Value
CS: COMMERCIAL DEV SITE	4SBIA	A	0.980	230,000	LOC-125	0.000	1.250	281,750
CSD: COMMERCIAL SITE DEV	SOSC	LT	0.000	22,170		0.000	0.000	22,170
Total Acres:			0.980			Total Market Land Value:		303,920

LAND SPECIAL USE

Code	SAV	Unt	Pr	MSAV	Unt	Pr	LSU
Total LSU:							0

LINCOLNPROD PROPERTY RECORD CARD

Property ID: R23537

Map and Taxlot: 11-11-17-DB-02200-00

Tax Year: 2025

Run Date: 9/3/2025 3:40:11 PM

COMMERCIAL IMPROVEMENTS

No.	Inst. ID	OAA Seg	Business Name	Occupancy	Class	Occ %	Stories	Hgt	Rank	Yr Blt	Eff Yr	Area	Perim	Adjustment	Code-%	NBHD %	Total Adj %	RCNLD	MS Depr %	RMV
1.1	2314344	GPB		528-Service		100	1		2.0			3,024	240.00			1.520	1.520	47,409	0	72,060
1.2	2314345	AS		163-Site Imp		100	1		2.0			20,900				1.520	1.520	17,556	0	26,690
Total RMV:																				98,750

COMMERCIAL ADDITIONS

No.	Instance ID	Type	Desc	Value
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COMMERCIAL BASEMENTS

No.	Instance ID	Bsmt Type	Area	Depth
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COMMERCIAL COMMENTS

6Z

LINCOLNPROD PROPERTY RECORD CARD

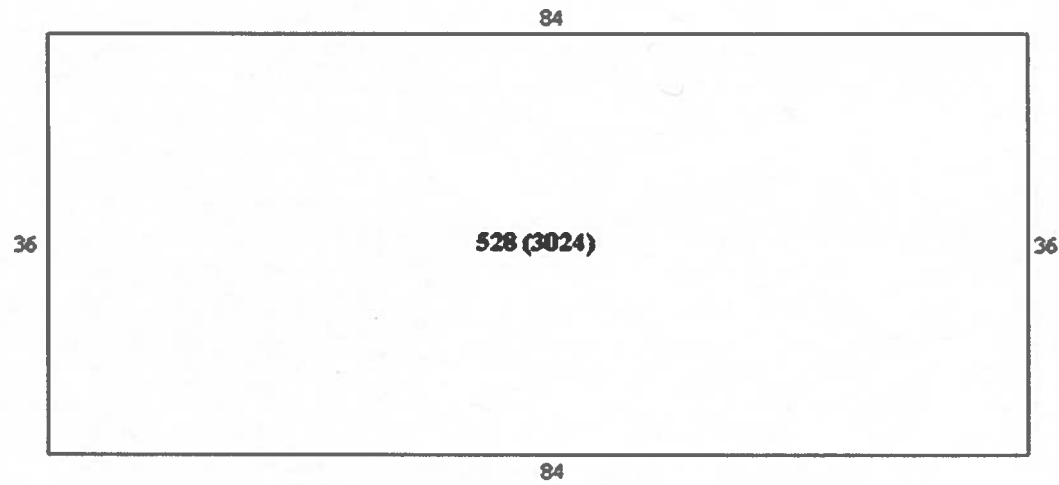
Property ID: R23537

Map and Taxlot: 11-11-17-DB-02200-00

Tax Year: 2025

Run Date: 9/3/2025 3:40:11 PM

Situs: 3414 S COAST HWY



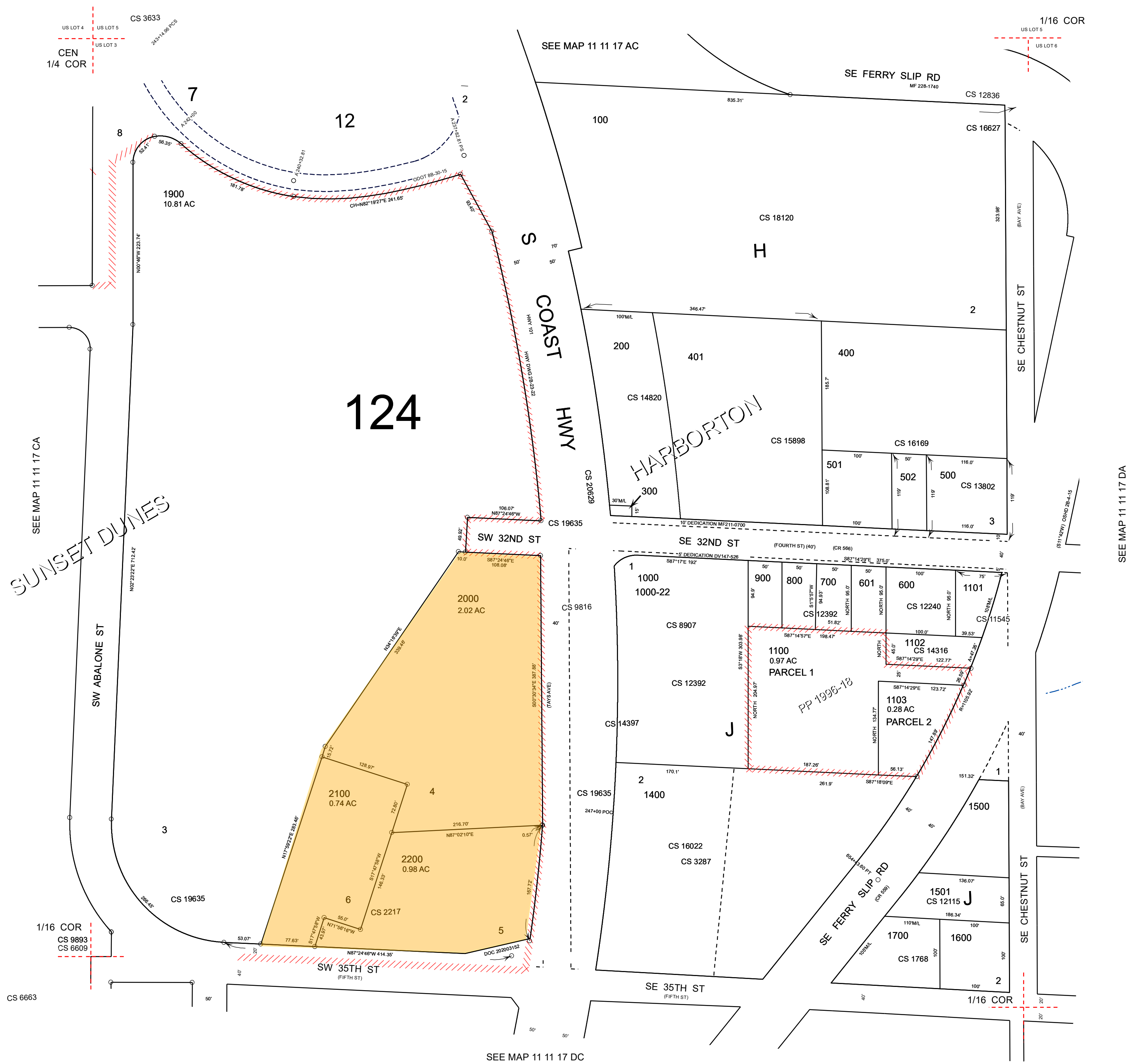
SKETCH VECTORS: A0CR84U36L84D36

SKETCH COMMENTS:

Attachment "C"
File No. 2-CUP-25

11 11 17 DB
NEWPORT

Cancelled
1000-21
1200
1201
1300
1400-L1
1401
1800



Revised: SAO
04/21/2020

NEWPORT
11 11 17 DB

8. Statement describing the nature of the request.

- o RESPONSE: Per City of Newport Ordinance No. 2196, Tax Lots 02000, 02100, and 02200 were changed from Industrial to Commercial and Zoning Map from I-1/"Light Industrial" to C-1/"Retail & Service Commercial". This amendment states:

"In addition to the map amendment, the Commission found that vehicle repair uses should be conditionally allowed in the C-1 zone as opposed to the use being prohibited (its current status). Vehicle sales is conditional in the C-1 zone and vehicle repair is often paired with that use. The Commission concluded that vehicle repair enclosed within a building, can be compatible withing the C-1 zone district and that a conditional use process is an appropriate mechanism for determining if a project involving vehicle repair is, or is not, compatible."

The proposed building use satisfies the required parameters listed above.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE CITY OF NEWPORT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND STANDARD DRAWINGS, PRIVATE SANITARY SEWER AND STORM DRAIN CONSTRUCTION SHALL CONFORM TO OREGON STATE PLUMBING CODE, LATEST EDITION.
- EXISTING UTILITIES SHOWN ON THIS MAP ARE BASED ON FIELD LOCATES COMPLETED THROUGHOUT THE "OREGON ONE CALL" SERVICE AND FIELD SURVEY OF VISIBLE APPURTENANCES.
- CONSTRUCTION SITE SAFETY AND TRAFFIC CONTROL SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR REVIEW AND APPROVAL BY THE ENGINEER AND THE CITY OF NEWPORT AT THE PRE-CONSTRUCTION MEETING.
- THE CONTRACTOR SHALL ERECT, MAINTAIN, AND REMOVE ALL REQUIRED TEMPORARY TRAFFIC CONTROL DEVICES.
- PROPERTY MONUMENTS LOST AS A RESULT OF CONTRACTORS ACTIVITIES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL KEEP ALL STREETS CLEAR OF DEBRIS FROM CONSTRUCTION SITE.
- ALL EXISTING OR CONSTRUCTED MANHOLES, CLEANOUTS, MONUMENT, GAS VALVES, WATER VALVES, AND SIMILAR STRUCTURES SHALL BE ADJUSTED TO MATCH FINISHED GRADE OF THE PAVEMENT, SIDEWALK, LANDSCAPED AREA OR MEDIAN STRIP WHEREIN THEY LIE.
- CONTRACTOR SHALL MAINTAIN PROPER SUPPORT OF EXISTING UTILITIES AND INSURE MINIMUM COMPACTION STANDARDS AS PER THE PROJECT SPECIFICATIONS.
- ALL WATER VALVES FOR LIVE WATER MAINS SHALL BE KEPT ACCESSIBLE FOR OPERATION AT ALL TIMES.
- THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY WATER LINE, SEWER LINE, OR MANHOLE TESTING. TEST RESULTS FROM TEST NOT WITNESSED BY THE ENGINEER OR HIS AUTHORIZED REPRESENTATIVE WILL NOT BE ACCEPTED.
- CONTRACTOR SHALL MAINTAIN ONE SET OF DRAWINGS ON SITE WITH AS-BUILT INFORMATION RECORDED.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WHERE NEW FACILITIES CROSS. CONTRACTOR SHALL BE RESPONSIBLE FOR EXPOSING POTENTIAL CONFLICTS FAR ENOUGH AHEAD OF CONSTRUCTION TO MAKE NECESSARY GRADE MODIFICATION WITHOUT DELAYING THE WORK. IF GRADE MODIFICATION IS NECESSARY, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, AND THE DESIGN ENGINEER SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL UTILITY CROSSINGS SHALL BE POTHOLED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.

PAVING/BASE/CURB/SIDEWALK SPECIFICATIONS:

- MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2024 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION (OSS) AND THESE CONSTRUCTION DRAWINGS.
- FINISH COMPACTED SUBGRADE SHALL BE WITHIN 0.04' OF DESIGN SUBGRADE ELEVATION. SUBGRADE FABRIC SHALL BE PLACED ON PREPARED SUBGRADE AND BASE ROCK SUBSEQUENTLY PLACED IN A MANNER SUCH THAT MACHINERY RUBBER TIRED OR OTHER DOES NOT OPERATE DIRECTLY ON THE FABRIC. ANY TEARS OR DAMAGE TO THE FABRIC SHALL BE REPAIRED BY PLACING NEW FABRIC OVER THE DAMAGED AREA WITH A MINIMUM OF 18" OVERLAP. ALL ADJOINING FABRIC EDGES SHALL BE OVERLAPPED A MINIMUM OF 18".
- ALL BASE ROCK SHALL MEET THE REQUIREMENTS OF OSS SECTION 2630 FOR 3/4"-O. ROCK SHALL BE PLACED AND COMPACTED IN 6" MAXIMUM DEPTH LIFTS. A WET WEATHER SECTION SHALL BE CONSTRUCTED WHEN REQUIRED. UTILIZE EXISTING ROCK SUBBASE IN PLACE.
- PORTLAND CEMENT CONCRETE USED FOR PRIVATE CURB AND SIDEWALK SHALL ATTAIN A MIN. 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI MEETING THE REQUIREMENTS OF OSS SECTION 00440. CLEAR LIQUID MEMBRANE FORMING COMPOUND SHALL BE USED. THE CONTRACTOR SHALL SUPPLY MIX DESIGNS AND BREAK RECORDS FOR PCC MIXES. AIR ENTRAINED 5% ± 1.5%.
- PORTLAND CEMENT CONCRETE USED FOR TRUCK LOADING APRONS, MIN. 7" THICK, SHALL ATTAIN A MIN. 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI MEETING THE REQUIREMENTS OF OSS SECTION 00440. CONTRACTION JOINT SHALL BE CONSTRUCTED WITH A MAXIMUM SPACING OF 10 FEET. AIR ENTRAINED 5% ± 1.5%.
- ASPHALT CEMENT CONCRETE SHALL BE CLASS "B" (3/4") AND CLASS "C" (1/2") AS CALLED FOR ON THE CONSTRUCTION DRAWINGS. MATERIALS AND QUALITY CONTROL SHALL CONFORM TO SECTION 00744 - HOT MIXED ASPHALT CONCRETE. THE CONTRACTOR SHALL PROVIDE MIX DESIGNS FOR 3/4" AND 1/2" DENSE GRADED, LEVEL 2, HMA.
- THE FINISHED SURFACE WHEN MEASURED WITH A 10' STRAIGHT EDGE SHALL NOT VARY BY MORE THAN 0.02'.
- TESTING - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DENSITY TESTING THROUGH AN APPROVED THIRD PARTY TESTING COMPANY FOR SUBGRADE, BASE ROCK, AND ASPHALT CEMENT CONCRETE. PRIOR TO PLACING BASE ROCK AND PRIOR TO PAVING THE ENGINEER SHALL WITNESS A PROOF ROLL WITH AN APPROVED TRUCK SUPPLIED AND OPERATED BY THE CONTRACTOR. THE CONTRACTOR SHALL ALSO PROVIDE CONCRETE CYLINDER COMPRESSIVE STRENGTH TESTING FOR PCC USED IN CURB CONSTRUCTION AND 90 TRUCK LOADING APRON, MIN. ONE SET OF CYLINDERS FOR EACH 150 CY OR ONE SET EACH DAY.

HORIZONTAL DATUM:

THE HORIZONTAL DATUM IS ON AN ASSUMED LOCAL DATUM. THE BASIS OF BEARINGS IS BETWEEN POINTS 60 AND 57 PER SUNSET DUNES PLAT.

VERTICAL DATUM NOTE:

THE VERTICAL DATUM IS "NAVD 88."

UTILITY NOTES:

UTILITIES SHOWN ON THIS MAP ARE BASED ON OBSERVED EVIDENCE AND LOCATE MARKS PER 811 TICKET NUMBER 21360066 + 21360067.

FLOOD PLAIN NOTE:

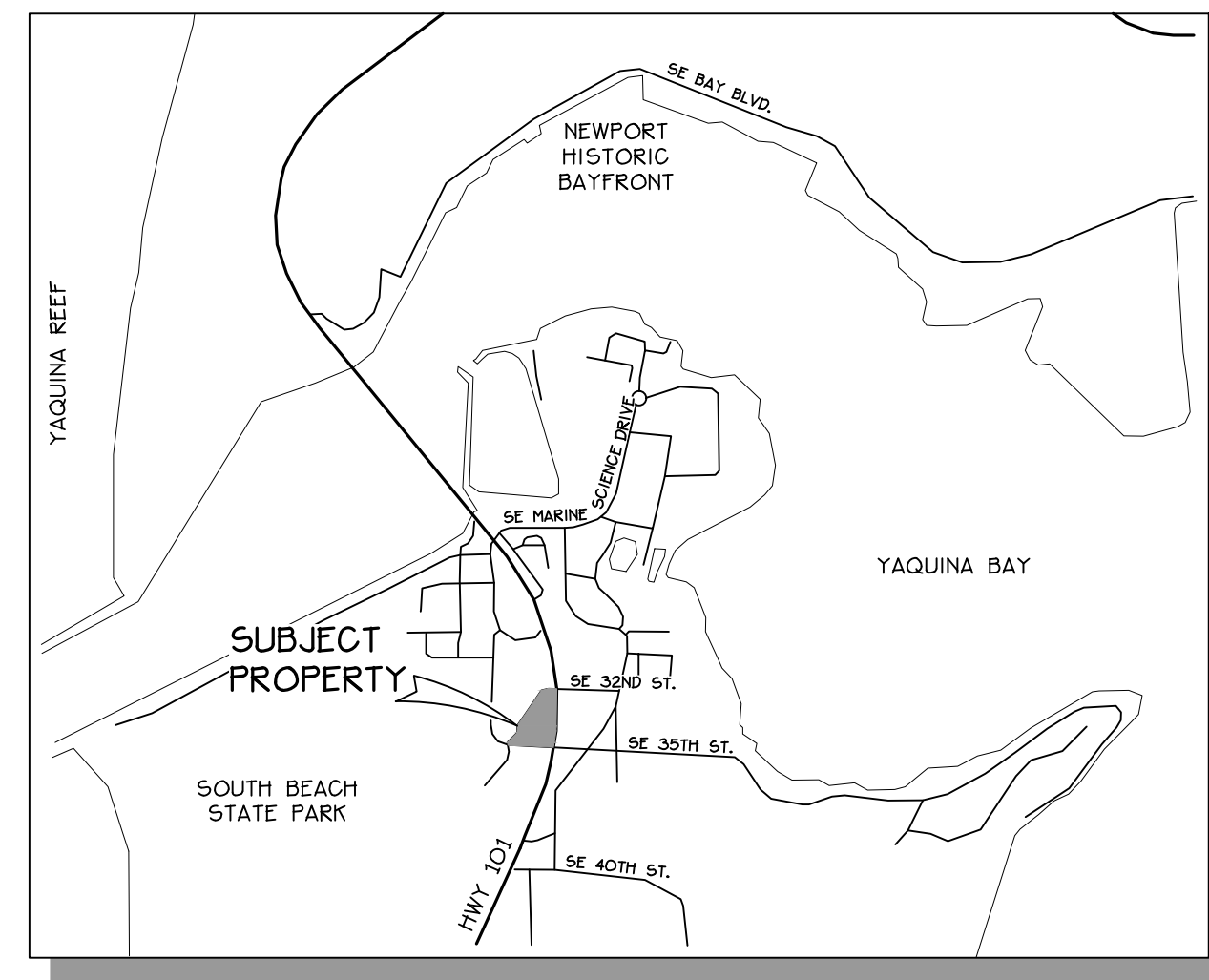
THE SUBJECT PROPERTY IS IN "ZONE X", AN AREA OF MINIMAL FLOOD HAZARD PER FEMA MAP 41041C0506, DATED OCTOBER 18, 2019.

BOUNDARY NOTE:

THESE DRAWINGS DO NOT CONSTITUTE A BOUNDARY SURVEY AND ARE SUBJECT TO ANY INACCURACIES THAT A BOUNDARY SURVEY MAY DISCLOSE. THE BOUNDARY SHOWN IS BASED UPON RECORD INFORMATION FROM SURVEYS FILED AT THE OFFICE OF THE LINCOLN COUNTY SURVEYOR.

GEOTECHNICAL INVESTIGATION FOR SITE:

ALL WORK SHALL COMPLY WITH THE GEOTECHNICAL INVESTIGATION PREPARED BY FOUNDATION ENGINEERING, INC. PROJECT NO. 2221047, DATED AUGUST 1, 2022.



VICINITY MAP

SCALE: 1"=1/2 S.

ABBREVIATIONS:

AC\ACP	ASPHALT CONCRETE PAVING
AC W	ASBESTOS CEMENT WATER LINE
A.D.A.	AMERICANS WITH DISABILITIES ACT
A.P.	ANGLE POINT
APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AWWA	AMERICAN WATER WORKS ASSOCIATION
B.O.	BLOW-OFF
BOR	BEGIN CURB RETURN
BOC	BACK OF CURB
C.B.	CATCH BASIN
C.B.	CATCH BASIN
C.I.	CURB INLET
C.	CENTERLINE
CONC.	CONCRETE
CONST.	CONSTRUCTION
CVR	COVER
D.I.	DUCTILE IRON
DIA. + Ø	DIAMETER
EC	EDGE OF CONCRETE
EGR	END CURB RETURN
ELEV.	ELEVATION
EP	EDGE OF PAVEMENT
ESC	EROSION + SEDIMENTATION CONTROL
EXIST. + ()	EXISTING
F.G.	FINISHED GRADE
F.H.	FIRE HYDRANT
FLG	FLANGE
FL	FLOW LINE
FO	FIBER OPTICS CABLE
FUE	FRANCHISE UTILITY EASEMENT
FUT.	FUTURE
G.	GRADE BREAK
GB	GRADE BREAK
I.E. + INV.	INVERT ELEVATION
L	LENGTH
LT	LEFT
M1	MANHOLE
MJ	MECHANICAL JOINT
NO.	NUMBER
O.D.O.T.	OREGON DEPARTMENT OF TRANSPORTATION
OPH	OVERHEAD POWER LINE
OPT.	OPTION
OSD	OREGON STANDARD DRAWING
OSS	OREGON STANDARD SPECIFICATIONS
P	POWER
P	PROPERTY LINE
PC	POINT OF CURVATURE
PE	PLAIN END
PCC	PORTLAND CONCRETE CEMENT
PRG	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
R	RADIUS
RP	RADIUS POINT
RT	RIGHT
R/W	RIGHT-OF-WAY
S.	SLOPE
S.D.	STORM DRAIN
S.S.	SANITARY SEWER
SDA-#	STORM DRAIN ALIGNMENT NO.
SHT.	SHEET
STA.	STATION
TBM	TEMPORARY BENCH MARK
TEL	TELEPHONE
TGB	TOP OF CURB
TGC	TOP OF CONCRETE
TRANS.	TRANSITION
TV	TELEVISION
TW	TOP OF WALL
TYP.	TYPICAL
VG	VALLEY GUTTER
VLT	VAULT
W	WATER
W.L.	WATER LINE
WM	WATER METER
YPC	YELLOW PLASTIC CAP

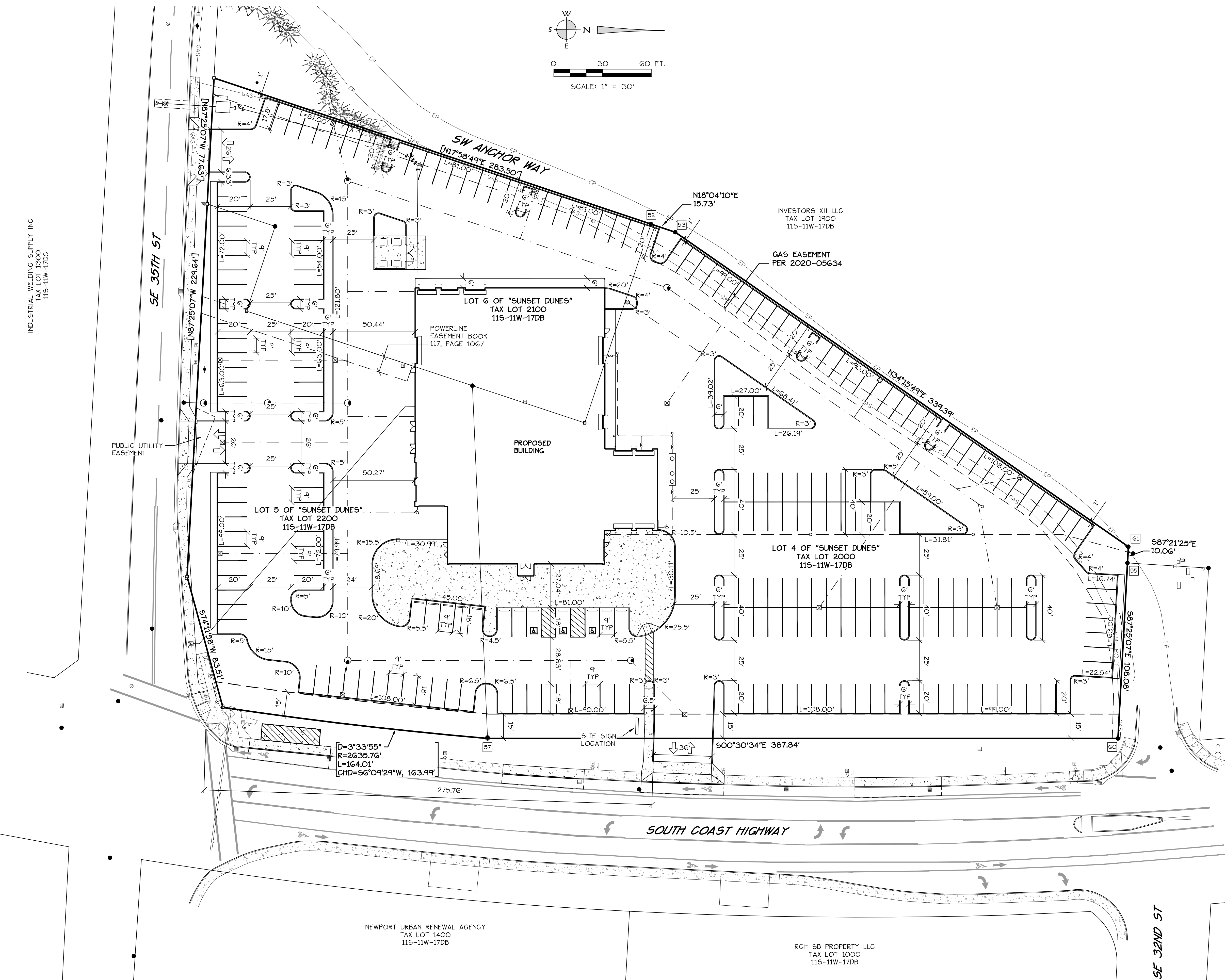
LEGEND:

●	FOUND MONUMENT
○	CALCULATED POINT FROM RECORD DATA
▲	SURVEY CONTROL POINT
▲	EXISTING MANHOLE
○	EXISTING CLEAN OUT
+	EXISTING SIGN
⊠	EXISTING ELECTRICAL BOX
⊠	EXISTING GAS METER
⊠	EXISTING LIGHT POLE
⊠	EXISTING WATER METER
⊠	EXISTING FIRE HYDRANT
⊠	EXISTING VALVE
⊠	EXISTING IRRIGATION VALVE
⊠	EXISTING CATCH BASIN
⊠	EXISTING CURB INLET
⊠	EXISTING IRRIGATION BOX
⊠	EXISTING GAS VALVE
⊠	EXISTING LAMP
⊠	EXISTING UTILITY POLE
⊠	EXISTING POWER METER
⊠	EXISTING TELECOMMUNICATIONS PEDESTAL
⊠	EXISTING SIGNAL BOX
⊠	EXISTING CROSSWALK SIGNAL
⊠	EXISTING CONIFER TREE

○	PROPOSED CLEAN-OUT
⊠	PROPOSED CATCH BASIN
—	PROJECT BOUNDARY
—	PROPERTY LINE
—	STREET CENTERLINE
—	EXIST. CURB/GUTTER WITH SIDEWALK
—	EXIST. WATER LINE
—	EXIST. SEWER LINE
—	EXIST. STORM DRAIN
—	P.U.E. OR OTHER EASEMENT
—	PROPOSED SEWER LINE
—	PROPOSED WATER
—	PROPOSED STORM DRAIN
—	SHADED SIDEWALK AND DRIVEWAYS TO BE CONSTRUCTED BY CONTRACTOR

DRAWING INDEX:

SHEET TITLE	SHEET NO.
CIVIL SITE PLAN	C100
DEMO PLAN	C101
EROSION CONTROL COVER SHEET	C200
EROSION CONTROL EXISTING CONDITIONS	C201
EROSION CONTROL GRADING + UTILITIES	C202
EROSION CONTROL DETAILS	C203
GRADING PLAN	C300
STORM DRAINAGE PLAN	C500
SANITARY SEWER AND WATER PLAN	C600
CONSTRUCTION DETAILS	C400
CONSTRUCTION DETAILS	C401
CONSTRUCTION DETAILS	C402
CONSTRUCTION DETAILS	C403
SPECIFICATIONS	C404
FIRE DEPARTMENT PLAN	FD-1



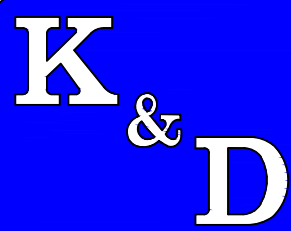
CIVIL SITE PLAN

JACKSON TOYOTA OF NEWPORT
3234 SOUTH COAST HIGHWAY,
NEWPORT, OR 97366

LINCOLN COUNTY, OREGON

DATE: _____ BY: _____

REVISIONS



K&D ENGINEERING, INC.
276 N.W. HICKORY ST.
P.O. BOX 725
ALBANY, OREGON 97321
(541) 928-2583

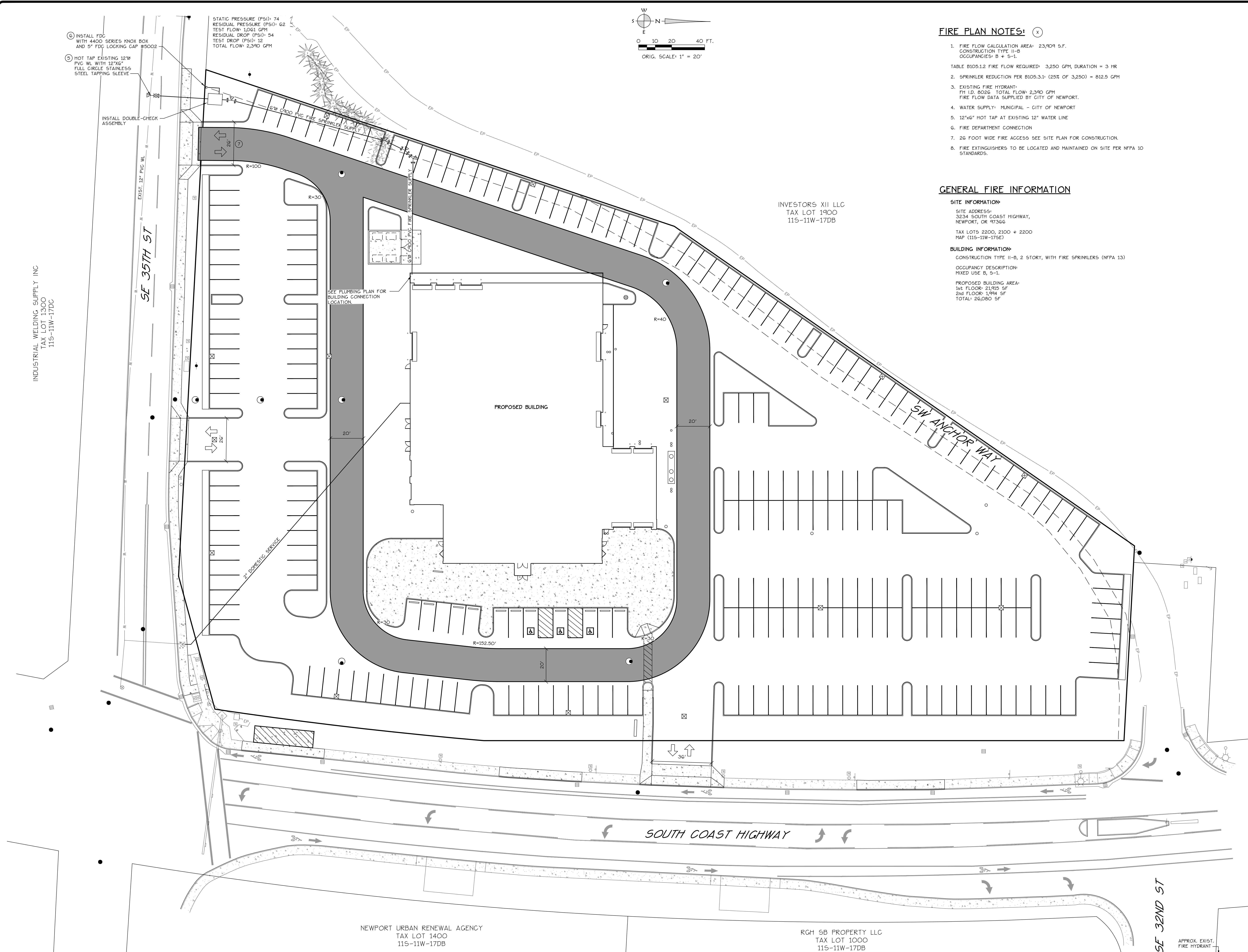


REVISIONS: 6-30-26

HORIZ. SCALE:
VERT. SCALE:
SIGN DATE: 7/11/25
DSGN BY: DKW
DRWN BY: BLE
CHK BY: DKW
PROJECT No.: 25-55-A

SHEET No.:

C-100



- FIRE PLAN NOTES:** (X)
- FIRE FLOW CALCULATION AREA: 23,909 S.F.
CONSTRUCTION TYPE II-B
OCCUPANCIES: B + S-1.
 - TABLE B105.1.2 FIRE FLOW REQUIRED: 3,250 GPM, DURATION = 3 HR
SPRINKLER REDUCTION PER B105.3.1: (25% OF 3,250) = 812.5 GPM
 - EXISTING FIRE HYDRANT:
FH I.D. 8026 TOTAL FLOW: 2,340 GPM
FIRE FLOW DATA SUPPLIED BY CITY OF NEWPORT.
 - WATER SUPPLY: MUNICIPAL - CITY OF NEWPORT
 - 12"X6" HOT TAP AT EXISTING 12" WATER LINE
 - FIRE DEPARTMENT CONNECTION
 - 26 FOOT WIDE FIRE ACCESS SEE SITE PLAN FOR CONSTRUCTION.
 - FIRE EXTINGUISHERS TO BE LOCATED AND MAINTAINED ON SITE PER NFPA 10 STANDARDS.

GENERAL FIRE INFORMATION

SITE INFORMATION:
SITE ADDRESS:
3234 SOUTH COAST HIGHWAY,
NEWPORT, OR 97366
TAX LOTS 2200, 2100 + 2200
MAP (115-11W-175E)

BUILDING INFORMATION:
CONSTRUCTION TYPE II-B, 2 STORY, WITH FIRE SPRINKLERS (NFPA 13)
OCCUPANCY DESCRIPTION:
MIXED USE B, S-1.
PROPOSED BUILDING AREA:
1st FLOOR: 21,915 SF
2nd FLOOR: 1,994 SF
TOTAL: 26,080 SF

FIRE DEPARTMENT PLAN

JACKSON TOYOTA OF NEWPORT
3234 SOUTH COAST HIGHWAY,
NEWPORT, OR 97366
LINCOLN COUNTY, OREGON

NO.	DATE	REVISIONS	BY

K
&
D

K&D ENGINEERING, INC.
276 N.W. HICKORY ST.
P.O. BOX 725
ALBANY, OREGON 97321
(541) 928-2583

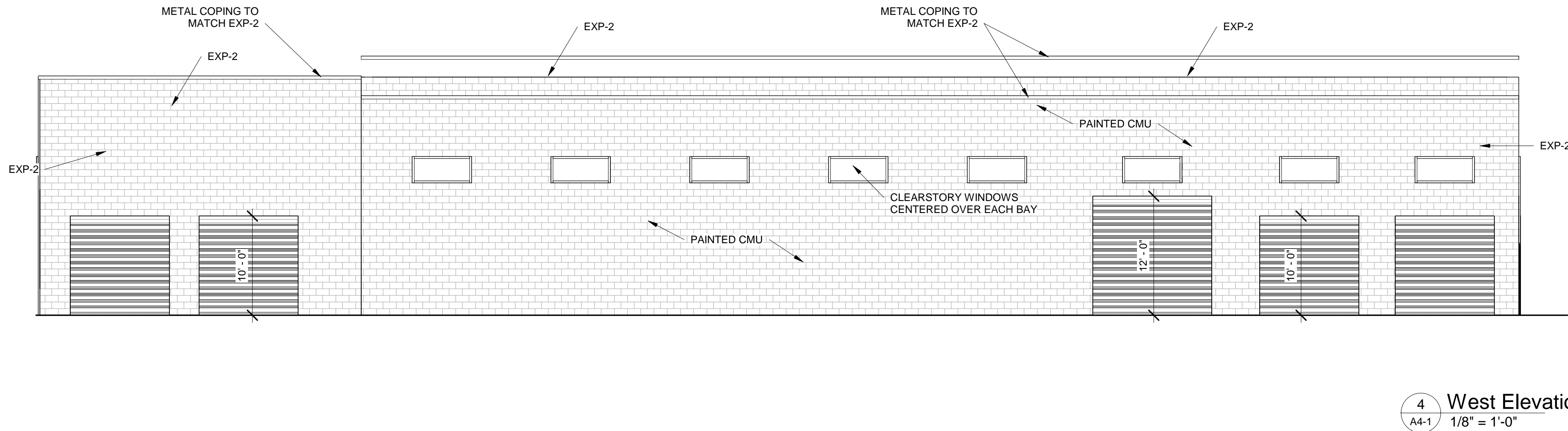
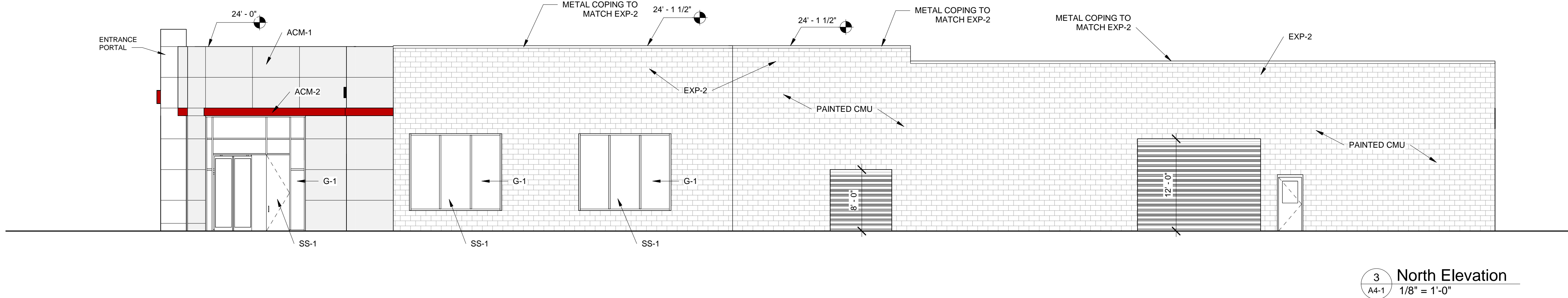
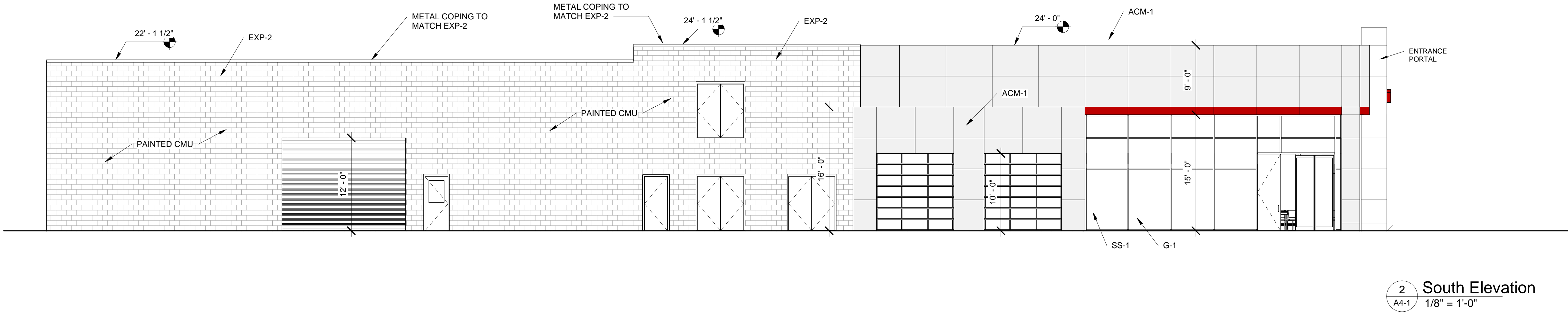
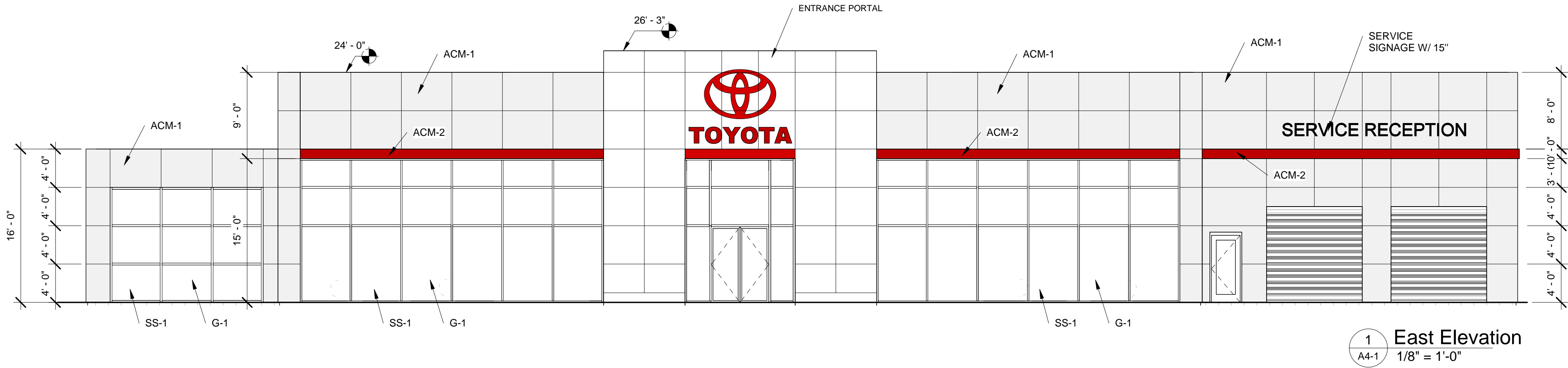
REGISTERED PROFESSIONAL
ENGINEER
17,612
OREGON
NOV. 17, 2009
DANIEL K. WATSON
RENEW: 6-30-26

HORIZ. SCALE:
VERT. SCALE:
SIGN DATE: 7/11/25
DSGN BY: DKW
DRWN BY: BLE
CHK BY: DKW
PROJECT No.: 25-55-A

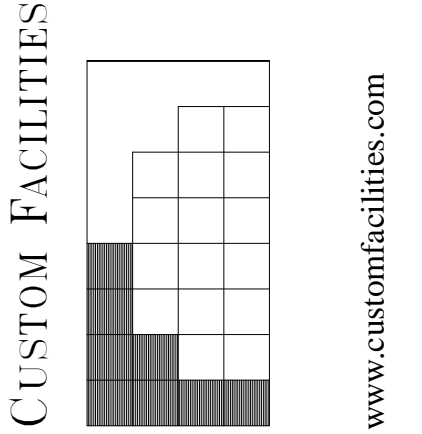
SHEET No.:
FD-1

EXTERNAL MATERIAL SCHEDULE

ACM-1	TOYOTA SILVER	BY ACM INSTALLER
ACM-2	TOYOTA RED	BY ACM INSTALLER
ACM-3	TOYOTA BLACK	BY ACM INSTALLER
ACM-4	TOYOTA WHITE	BY NOVUM
GP-1	GLASS PANEL	BY NOVUM



CONSTRUCTION MANAGERS
GENERAL CONTRACTORS
DESIGN/BUILD
6296 Rucker Road
Suite C
Indianapolis, IN
46220-4860
TEL 317-259-0038
FAX 317-259-4785

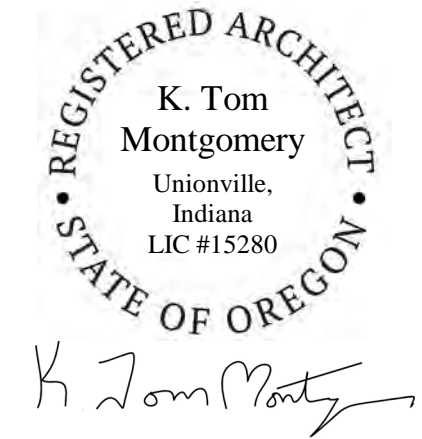


HOFFMAN ENGINEERS, LLC
P.O. BOX 420
PARAGON, INDIANA 46166
317-443-1901
shave@hoffmanengineers.com
GLOBAL COMMITMENT WITH
A MAIN STREET ATTITUDE

Client Project Information

Jackson Toyota of
Newport
3234 SW COAST HWY
NEWPORT, OR 97366

7/29/2025 10:14:05
AM



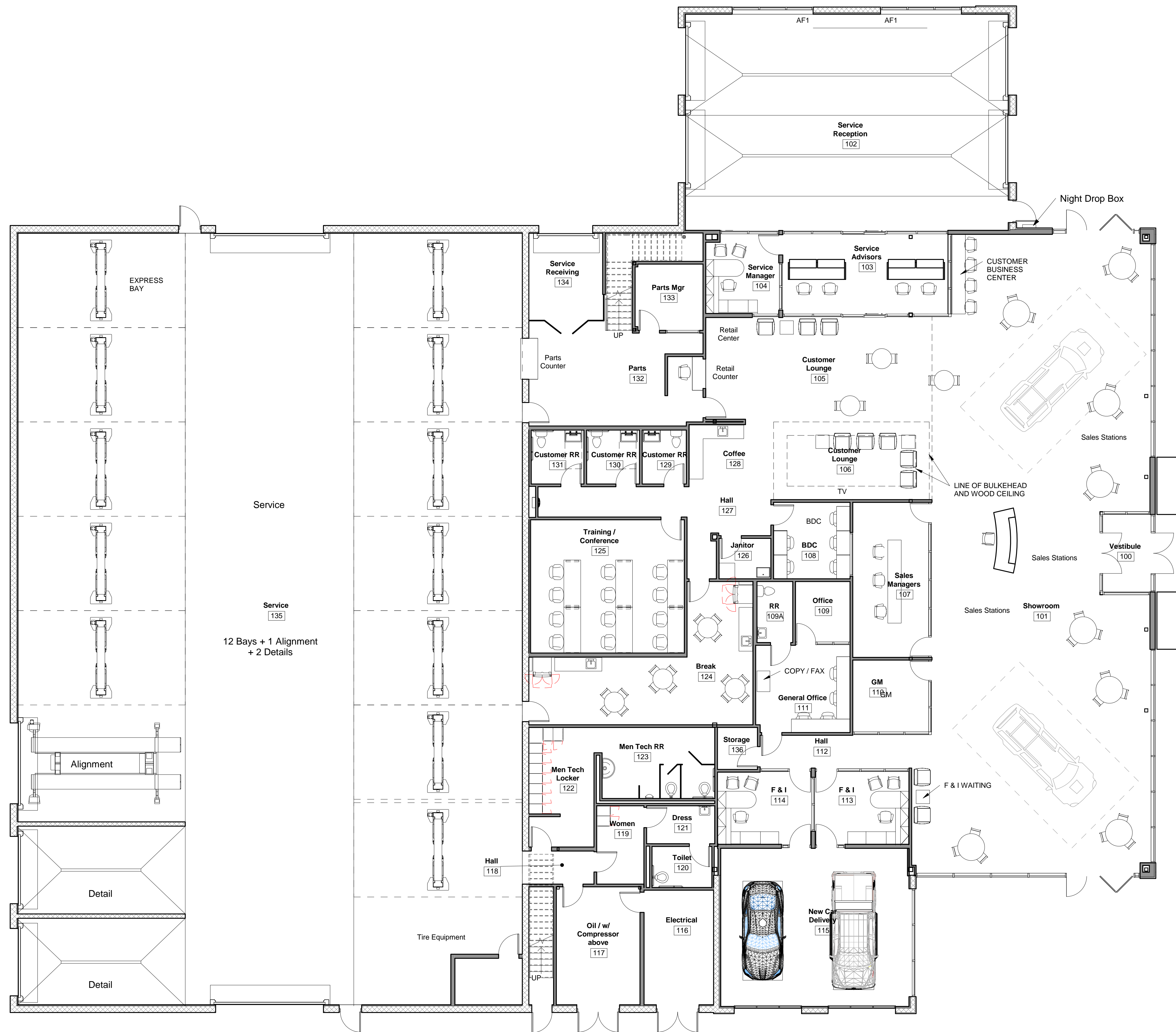
Project No.: 25011
Drawn By: KTM
Checked By: KTM

Revisions
Mark Date Remarks

DO NOT SCALE DRAWINGS.

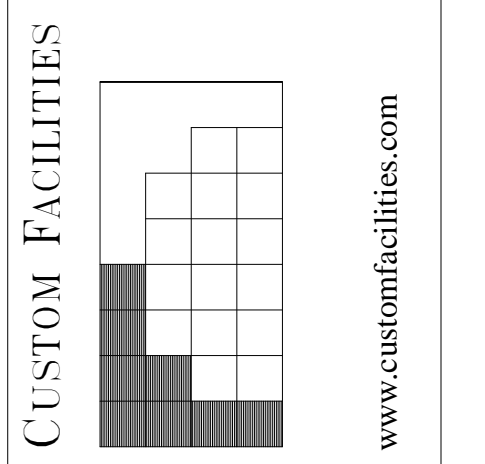
Exterior
Elevations

A4-1



1 1st Floor Furniture Plan
A1-4 1/8" = 1'-0"

CONSTRUCTION MANAGERS
GENERAL CONTRACTORS
DESIGN/BUILD
6296 Rucker Road
Suite C
Indianapolis, IN
46220-4860
TEL 317-259-0038
FAX 317-259-4785



HOFFMAN ENGINEERS, LLC
P.O. BOX 420
PARAGON, INDIANA 46166
317-443-1901
seve@hoffmanengineers.com

Client Project Information

**Jackson Toyota of
Newport**
3234 SW COAST HWY
NEWPORT, OR 97366

7/29/2025 11:07:07
AM

REGISTERED ARCHITECT
K. Tom
Montgomery
Unionville,
Indiana
LIC #15280
K. Tom Montgomery

Project No.: 25011
Drawn By: KTM
Checked By: KTM

Revisions		
Mark	Date	Remarks

DO NOT SCALE DRAWINGS.

Furniture
Plan

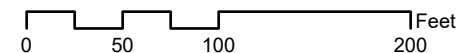
A1-4



City of Newport
Community Development Department
169 SW Coast Highway
Newport, OR 97365
Phone: 1.541.574.0629
Fax: 1.541.574.0644

Zoning and Utility Map Toyota of Newport Conditional Use Application

Image Taken July 2024
4-inch, 4-band Digital Orthophotos
GeoTerra, Inc. Eugene, OR



PLAT OF
SUNSET DUNES

A REPLAT OF A PORTION OF THE PLAT OF WAGGONER'S ADDITION TO SOUTH BEACH AND A PORTION OF THE PLAT OF HARBORTON, LOCATED IN THE SOUTHWEST AND SOUTHEAST ONE-QUARTERS OF SECTION 17, TOWNSHIP 11 SOUTH, RANGE 11 WEST, WILLAMETTE MERIDIAN IN LINCOLN COUNTY, OREGON.

ASSESSOR'S MAPS: 11-11-17 CA & 11-11-17 DB
DSI-4313
AUGUST 1, 2014

INDEX

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SHEET 2: SURVEYORS NARRATIVE, CERTIFICATE
SHEET 3: PLAT BOUNDARY, LOTS 1 AND 2
SHEET 4: LOTS 3, 4, 5 AND 6, EASEMENTS
SHEET 5: ROAD CENTERLINE, IMPROVEMENTS

ACKNOWLEDGMENT:

STATE OF OREGON S.S.
COUNTY OF Jackson

ON THIS 10 DAY OF December, IN THE YEAR 2014, BEFORE ME, Susan E. Person THE SIGNED NOTARY PUBLIC, PERSONALLY APPEARED, ERIC G. BUNN, MANAGER OF INVESTORS XII, LLC PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THIS INSTRUMENT, AND ACKNOWLEDGED THAT HE EXECUTED IT ON BEHALF OF INVESTORS XII, LLC. WITNESS MY HAND AND OFFICIAL SEAL.



Susan E. Person
NOTARY SIGNATURE

458131
COMMISSION NUMBER

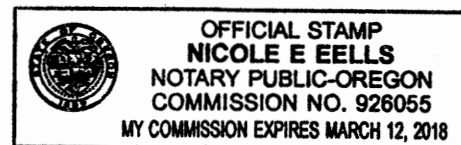
Susan E. Person
NOTARY PUBLIC - OREGON

May 1, 2015
MY COMMISSION EXPIRES:

ACKNOWLEDGMENT:

STATE OF OREGON S.S.
COUNTY OF Jackson

ON THIS 10 DAY OF December, IN THE YEAR 2014, BEFORE ME, *Nicole E. Eells THE SIGNED NOTARY PUBLIC, PERSONALLY APPEARED, REGINALD P. BREEZE, MANAGER OF INVESTORS XII, LLC PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THIS INSTRUMENT, AND ACKNOWLEDGED THAT HE EXECUTED IT ON BEHALF OF INVESTORS XII, LLC. WITNESS MY HAND AND OFFICIAL SEAL.



Nicole E. Eells
NOTARY SIGNATURE

926055
COMMISSION NUMBER

Nicole E. Eells
NOTARY PUBLIC - OREGON

March 12, 2018
MY COMMISSION EXPIRES:

ACKNOWLEDGMENT:

STATE OF OREGON S.S.
COUNTY OF Multnomah

ON THIS 5th DAY OF December, IN THE YEAR 2014, BEFORE ME, Karen K. Black THE SIGNED NOTARY PUBLIC, PERSONALLY APPEARED, NANCY STUEBER, AS PRESIDENT OF OREGON MUSEUM OF SCIENCE & INDUSTRY, PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THIS INSTRUMENT, AND ACKNOWLEDGED THAT SHE EXECUTED IT ON BEHALF OF OREGON MUSEUM OF SCIENCE & INDUSTRY. WITNESS MY HAND AND OFFICIAL SEAL.



Karen K. Black
NOTARY SIGNATURE

457697
COMMISSION NUMBER

Karen K. Black
NOTARY PUBLIC - OREGON

4-17-15
MY COMMISSION EXPIRES:

ACKNOWLEDGMENT:

STATE OF OREGON S.S.
COUNTY OF Multnomah

ON THIS 5th DAY OF December, IN THE YEAR 2014, BEFORE ME, Karen K. Black THE SIGNED NOTARY PUBLIC, PERSONALLY APPEARED, TROND INGVALDSEN, BOARD CHAIR OF OREGON MUSEUM OF SCIENCE & INDUSTRY, PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THIS INSTRUMENT, AND ACKNOWLEDGED THAT HE EXECUTED IT ON BEHALF OF OREGON MUSEUM OF SCIENCE & INDUSTRY. WITNESS MY HAND AND OFFICIAL SEAL.



Karen K. Black
NOTARY SIGNATURE

457697
COMMISSION NUMBER

Karen K. Black
NOTARY PUBLIC - OREGON

4-17-15
MY COMMISSION EXPIRES:

APPROVALS:

[Signature] 12-01-2014
CITY OF NEWPORT PLANNING COMMISSION, CHAIR DATE

Edith D. Niclax 12-17-2014
LINCOLN COUNTY SURVEYOR Deputy DATE

Linda Pilson by VA 12-24-14
LINCOLN COUNTY TAX COLLECTOR DATE

Rob Thomas by SAO 12-24-14
LINCOLN COUNTY ASSESSOR DATE

Lyn N. Fly 12/23/14
LINCOLN COUNTY COMMISSIONER DATE

[Signature] 12-22-14
LINCOLN COUNTY COMMISSIONER DATE

Bill Hall 12-19-14
LINCOLN COUNTY COMMISSIONER DATE

SURVEY BY:
DENISON SURVEYING, INC.
720 SW ANGLE ST.
NEWPORT, OREGON 97365
(541) 265-9308

REGISTERED
PROFESSIONAL
LAND SURVEYOR

Russell Johnson
OREGON
JULY 26, 1989
RUSSELL JOHNSON
2400

RENEWAL DATE:
JUNE 30, 2015

I, RUSSELL JOHNSON CERTIFY THAT THIS IS A TRUE AND EXACT COPY OF THE ORIGINAL.

STATE OF OREGON S.S.
COUNTY OF LINCOLN

I, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS RECEIVED FOR RECORD ON THE 24th DAY OF December, 2014 AT 11:51 O'CLOCK A.M. AND RECORDED AS BOOK 19 PAGE 10 LINCOLN COUNTY RECORDS.

BY: [Signature] 12/24/2014
COUNTY CLERK/DEPUTY

DECLARATION:

KNOW ALL PEOPLE BY THESE PRESENTS, THAT RICHARD G. MURRY, JR., REGINALD P. BREEZE AND ERIC G. BUNN, MANAGERS OF INVESTORS XII, LLC AN OREGON LIMITED LIABILITY COMPANY AND NANCY STUEBER, PRESIDENT OF OREGON MUSEUM OF SCIENCE & INDUSTRY AND TROND INGVALDSEN, BOARD CHAIR OF OREGON MUSEUM OF SCIENCE & INDUSTRY, AN OREGON NON-PROFIT PUBLIC BENEFIT CORPORATION, OWNERS OF THE LAND REPRESENTED ON THIS SUBDIVISION PLAT AND MORE PARTICULARLY DESCRIBED IN THE ACCOMPANYING SURVEYOR'S CERTIFICATE HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED INTO LOTS, ROAD RIGHTS OF WAY AND EASEMENTS AS SHOWN AND NOTED ON THE ATTACHED MAP AND TO BE DEDICATED AS "SUNSET DUNES", AND DOES HEREBY DEDICATE TO THE PUBLIC WITHOUT RESERVATION OR RESTRICTION, THE LAND FOR ROAD RIGHTS OF WAY AS SHOWN ON THE ATTACHED MAP. EASEMENTS, AS SHOWN ON THIS PLAT ARE GRANTED AS PUBLIC UTILITY EASEMENTS TO THE CITY OF NEWPORT FOR ALL MANNER OF UTILITIES AS MAY BE DEEMED NECESSARY. THESE EASEMENTS GRANT INGRESS AND EGRESS FOR THE CONSTRUCTION, MAINTENANCE, OR REPLACEMENT OF UTILITIES AND SERVICE EQUIPMENT.

[Signature]
RICHARD G. MURRY, JR.
OREGON COAST BANK, BENEFICIARY OF A TRUST DEED, RECORDED IN DOCUMENT 2013-03096 OF THE LINCOLN COUNTY RECORDS, HAVE GIVEN THEIR APPROVAL TO SUBDIVIDE, IN AFFIDAVITS RECORDED IN DOCUMENT No. 2014-08736 LINCOLN COUNTY RECORDS.

[Signature]
ERIC G. BUNN, MANAGER OF INVESTOR XII, LLC
[Signature]
REGINALD P. BREEZE, MANAGER OF INVESTOR XII, LLC

Nancy Stueber
NANCY STUEBER - PRESIDENT OF OREGON MUSEUM OF SCIENCE & INDUSTRY
[Signature]
TROND INGVALDSEN - BOARD CHAIR OF OREGON MUSEUM OF SCIENCE & INDUSTRY

ACKNOWLEDGMENT:

STATE OF OREGON S.S.
COUNTY OF LINCOLN

ON THIS 3 DAY OF December, IN THE YEAR 2014, BEFORE ME, SUSAN COSTAMAGNA THE SIGNED NOTARY PUBLIC, PERSONALLY APPEARED, RICHARD G. MURRY, JR., PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THIS INSTRUMENT, AND ACKNOWLEDGED THAT HE EXECUTED IT. WITNESS MY HAND AND OFFICIAL SEAL.

[Signature]
NOTARY SIGNATURE

932886
COMMISSION NUMBER

10/2/18
NOTARY PUBLIC - OREGON

10/2/18
MY COMMISSION EXPIRES:

PLAT OF:
SUNSET DUNES

A REPLAT OF A PORTION OF THE PLAT OF WAGGONER'S ADDITION TO SOUTH BEACH AND A PORTION OF THE PLAT OF HARBORTON, LOCATED IN THE SOUTHWEST AND SOUTHEAST ONE-QUARTERS OF SECTION 17, TOWNSHIP 11 SOUTH, RANGE 11 WEST, WILLAMETTE MERIDIAN IN LINCOLN COUNTY, OREGON.

ASSESSOR'S MAPS: 11-11-17 CA & 11-11-17 DB
DSI-4313
AUGUST 1, 2014

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SHEET 5: ROAD CENTERLINE, IMPROVEMENTS

SURVEYOR'S NARRATIVE:

THE PURPOSE OF THIS SUBDIVISION PLAT IS TO RECONFIGURE THREE PROPERTIES AS DESCRIBED IN MICROFILM 250-0776 (MURRY), DOCUMENT NO. 2003-21895 (INVESTORS XII) AND DOCUMENT NO. 2011-10432 (DMSI), LINCOLN COUNTY FILM RECORDS INTO LOTS AND BLOCKS, AS INDICATED ON THE ACCOMPANYING DRAWING. THE EXTERIOR BOUNDARIES OF THE ENTIRE TRACT WERE DERIVED BY HOLDING THE LINES AND CORNERS AS ESTABLISHED IN LINCOLN COUNTY SURVEY NO. 19,635, BY THIS FIRM. THE INTERIOR CORNERS WERE DERIVED PER OUR CLIENT'S REQUEST - THE CITY OF NEWPORT. THIS PROCESS INCLUDED SEVERAL STREET VACATIONS WITHIN THE PLAT OF WAGGONER'S ADDITION TO SOUTH BEACH, THE CREATION OF SW 30TH STREET, THE REALIGNMENT OF SW ABALONE STREET, THE VACATION OF SW ANCHOR WAY, AS WELL AS WIDENING SW 35TH STREET. THIS PLAT ALSO CREATED SEVERAL EASEMENTS, AS INDICATED ON THE PLAT. THE MONUMENTS WERE SET AS INDICATED ON THE ACCOMPANYING SURVEY DRAWINGS. THIS SURVEY WAS PERFORMED WITH A WILD T1610 AND A WILD DISTOMAT DI1001 EDM.

PLAT NOTES: STREET VACATIONS

- (1) STREETS VACATION LOCATED IN PROPOSED LOT 1
PER CITY ORDINANCE # 2068
- (2) STREETS VACATION LOCATED IN PROPOSED LOT 2
PER CITY ORDINANCE # 2068
- (3) SW ANCHOR WAY VACATION PER CITY ORDINANCE # 2068

EASEMENTS CREATED BY THIS PLAT

PUBLIC UTILITY EASEMENTS
SEE: DETAILS '1', '2' AND '3'.
28 FOOT UTILITY EASEMENT LOT 2, SEE: SHEET 4
A TEMPORARY PUBLIC ACCESS AND UTILITY EASEMENT OVER EXISTING SW ANCHOR WAY, THAT WILL TERMINATE ONCE 35TH STREET IS CONSTRUCTED BETWEEN THE FORMER ANCHOR WAY AND US HWY 101. SHOWN ON SHEET 3 OF THE ACCOMPANYING PLAT

MONUMENT DESCRIPTIONS

- (A) FOUND: 5/8" IRON ROD W/CAP (C.S. 18,864) JOHNSON
(B) FOUND: 5/8" IRON ROD W/CAP (C.S. 9893) BURRELL
(C) FOUND: BRASS CAP DSHD (C.S. 14,397) ODOT
(D) FOUND: 5/8" IRON ROD W/CAP (C.S. 12,882) DENISON
(E) FOUND: ALUMINUM CAP DSHD (C.S. 9816) FREDRICKSON
(F) FOUND: 1 1/2" IRON PIPE (C.S. 3950) SIMPSON
(G) FOUND: PK NAIL W/BRASS WASHER (C.S. 16,022) JOHNSON
(H) FOUND: 5/8" IRON ROD W/ALUMINUM CAP (C.S. 18,606) HAMILTON

SURVEYOR'S CERTIFICATE:

I RUSSELL JOHNSON, CERTIFY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH PROPER MONUMENTS THE LAND REPRESENTED ON THIS SUBDIVISION PLAT OF "SUNSET DUNES", THE BOUNDARIES BEING DESCRIBED AS FOLLOWS:
BEGINNING AT THE INITIAL POINT, WHICH IS A 5/8 INCH IRON ROD AT THE SOUTHEAST CORNER OF LOT 12, PLAT OF "30TH STREET TOWNHOUSES", RECORDED IN BOOK 18, PAGE 29, LINCOLN COUNTY PLAT RECORDS; THENCE NORTH 00°01'10" WEST TO THE SOUTHERLY RIGHT OF WAY OF SW 30th STREET, A DISTANCE OF 99.92 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 89°51'23" EAST, ALONG SAID SOUTHERLY RIGHT OF WAY TO THE EASTERLY RIGHT OF WAY OF SW BRANT STREET, A DISTANCE OF 30.00 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 00°03'03" EAST, ALONG SAID EASTERLY RIGHT OF WAY, A DISTANCE OF 60.08 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 89°46'52" EAST TO THE EASTERLY RIGHT OF WAY OF SW ABALONE STREET (DESCRIBED AS DAVIS STREET IN THE PLAT OF HARBORTON), A DISTANCE OF 334.08 FEET; THENCE NORTH 00°00'46" WEST, ALONG SAID EASTERLY RIGHT OF WAY TO THE NORTHWEST CORNER OF A TRACT AS DESCRIBED IN DOCUMENT NO. 200321895, LINCOLN COUNTY FILM RECORDS (SAID CORNER ALSO BEING THE NORTHWEST CORNER OF LOT 9, BLOCK 7, PLAT OF HARBORTON), A DISTANCE OF 179.04 FEET; THENCE NORTH 57°00'11" EAST, ALONG THE NORTHERLY BOUNDARY OF SAID TRACT, A DISTANCE OF 55.77 FEET; THENCE ALONG THE ARC OF A 45 FOOT RADIUS CURVE RIGHT (THE LONG CHORD OF WHICH BEARS S 84°13'09" E, 52.74'), A DISTANCE OF 56.35 FEET, SAID POINT BEING ON THE SOUTHERLY RIGHT OF WAY OF SW ABALONE STREET - TIE ROAD, AS DEPICTED ON OREGON DEPARTMENT OF TRANSPORTATION (ODOT) DRAWING NO. 8B-30-15 IN APRIL 1964; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY ALONG THE ARC OF A 311.48 FOOT RADIUS CURVE LEFT (THE LONG CHORD OF WHICH BEARS S 65°02'28" E, 179.21'), A DISTANCE OF 181.78 FEET TO STATION "A 240+32.81 PSC"; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY ON A 250 FOOT SPIRAL CURVE OFFSET 25 FEET TO THE SOUTH, ON A CHORD OF NORTH 82°19'27" EAST, 241.65 FEET, TO STATION "A 237+82.81 PS" AND THE WESTERLY RIGHT OF WAY OF OREGON HIGHWAY 101, AS DEPICTED ON ODOT DRAWING NO. 2B-23-22, SAID POINT BEING THE NORTHEAST CORNER OF THE TRACT DESCRIBED ABOVE; THENCE SOUTH 28°56'17" EAST, ALONG SAID WESTERLY RIGHT OF WAY, A DISTANCE OF 93.40 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY ALONG THE ARC OF A 2635.76 FOOT RADIUS CURVE RIGHT (THE LONG CHORD OF WHICH BEARS S 09°43'22" E, 422.88'), A DISTANCE OF 423.33 FEET TO THE INTERSECTION WITH THE NORTHERLY RIGHT OF WAY OF SW 32nd STREET (PLATTED AS FOURTH STREET-PLAT OF HARBORTON); THENCE NORTH 87°24'46" WEST, ALONG SAID NORTHERLY RIGHT OF WAY, A DISTANCE OF 106.07 FEET; THENCE SOUTH 03°07'25" WEST TO THE NORTH LINE OF A TRACT AS DESCRIBED IN MICROFILM 250-0776 (MURRY), LINCOLN COUNTY FILM RECORDS, A DISTANCE OF 49.92 FEET; THENCE SOUTH 87°24'46" EAST, ALONG SAID NORTH LINE TO THE WESTERLY RIGHT OF WAY OF OREGON HIGHWAY 101, A DISTANCE OF 108.08 FEET AND A 5/8 INCH IRON ROD WITH AN ALUMINUM CAP; THENCE SOUTH 00°30'34" EAST, ALONG SAID HIGHWAY 101 RIGHT OF WAY TO THE SOUTHEAST CORNER THEREOF, A DISTANCE OF 387.88 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY ALONG THE ARC OF A 2635.76 FOOT RADIUS CURVE RIGHT (THE LONG CHORD OF WHICH BEARS S 06°41'43" W, 210.51'), A DISTANCE OF 210.56 FEET TO THE NORTHERLY RIGHT OF WAY OF PLATTED SW 35th STREET (PLATTED AS FIFTH STREET-PLAT OF HARBORTON); THENCE NORTH 87°24'46" WEST, ALONG SAID NORTHERLY RIGHT OF WAY TO THE WESTERLY RIGHT OF WAY OF SW ANCHOR WAY (PLATTED AS RHODODENDRON DRIVE-PLAT OF HARBORTON), A DISTANCE OF 479.44 FEET; THENCE SOUTH 00°07'04" EAST, ALONG SAID WESTERLY RIGHT OF WAY TO THE SOUTHEAST CORNER OF LOT 13, BLOCK 9, PLAT OF HARBORTON, A DISTANCE OF 39.87 FEET; THENCE NORTH 89°57'46" WEST, ALONG THE SOUTH LINE OF SAID LOT 13 TO THE EASTERLY RIGHT OF WAY OF PLATTED SW ABALONE STREET, A DISTANCE OF 116.99 FEET; THENCE NORTH 00°12'32" EAST, ALONG SAID EASTERLY RIGHT OF WAY TO A POINT OPPOSITE AND 30 FEET EASTERLY OF THE SOUTHEAST CORNER OF A TRACT AS DESCRIBED IN DOCUMENT NO. 2011-10432, LINCOLN COUNTY FILM RECORDS, A DISTANCE OF 36.99 FEET; THENCE NORTH 89°58'15" WEST, A DISTANCE OF 30.00 FEET TO SAID SOUTHEAST CORNER AND A 5/8 INCH IRON ROD; THENCE SOUTH 89°59'54" WEST, ALONG THE SOUTH BOUNDARY OF SAID TRACT TO THE SOUTHWEST CORNER THEREOF, A DISTANCE OF 999.88 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 00°00'40" WEST, ALONG THE WEST BOUNDARY OF SAID TRACT TO THE NORTHWEST CORNER THEREOF, A DISTANCE OF 801.72 FEET TO A 5/8 INCH IRON ROD; THENCE SOUTH 89°59'41" EAST, A DISTANCE OF 127.12 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 89°47'53" EAST TO THE WESTERLY RIGHT OF WAY OF SW COHO STREET, A DISTANCE OF 150.06 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 88°56'01" EAST TO THE EASTERLY RIGHT OF WAY OF SW COHO STREET, A DISTANCE OF 60.55 FEET TO A 1 1/2 INCH IRON PIPE; THENCE NORTH 89°47'44" EAST, A DISTANCE OF 328.01 FEET TO THE INITIAL POINT.

I, RUSSELL JOHNSON CERTIFY THAT THIS IS A TRUE AND EXACT COPY OF THE ORIGINAL.

REGISTERED
PROFESSIONAL
LAND SURVEYOR

Russell Johnson
OREGON
JULY 26 1989
RUSSELL JOHNSON
2400

RENEWAL DATE:
JUNE 30, 2015

SURVEY BY:
DENISON SURVEYING, INC.
720 SW ANGLE ST.
NEWPORT, OREGON 97365
(541) 265-9308

PLAT OF: SUNSET DUNES

A REPLAT OF A PORTION OF THE PLAT OF WAGGONER'S ADDITION TO SOUTH BEACH AND A PORTION OF THE PLAT OF HARBORTON, LOCATED IN THE SOUTHWEST AND SOUTHEAST ONE-QUARTERS OF SECTION 17, TOWNSHIP 11 SOUTH, RANGE 11 WEST, WILLAMETTE MERIDIAN IN LINCOLN COUNTY, OREGON.

ASSESSOR'S MAPS: 11-11-17 CA & 11-11-17 DB

DSI-4313

AUGUST 1, 2014

INDEX

SHEET 1: DECLARATION, ACKNOWLEDGMENTS AND APPROVALS

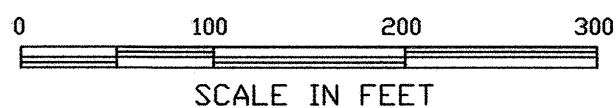
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SHEET 3: PLAT BOUNDARY, LOTS 1 AND 2

SHEET 4: LOTS 3, 4, 5 AND 6, EASEMENTS

SHEET 5: ROAD CENTERLINE, IMPROVEMENTS

SCALE: 1" = 100'

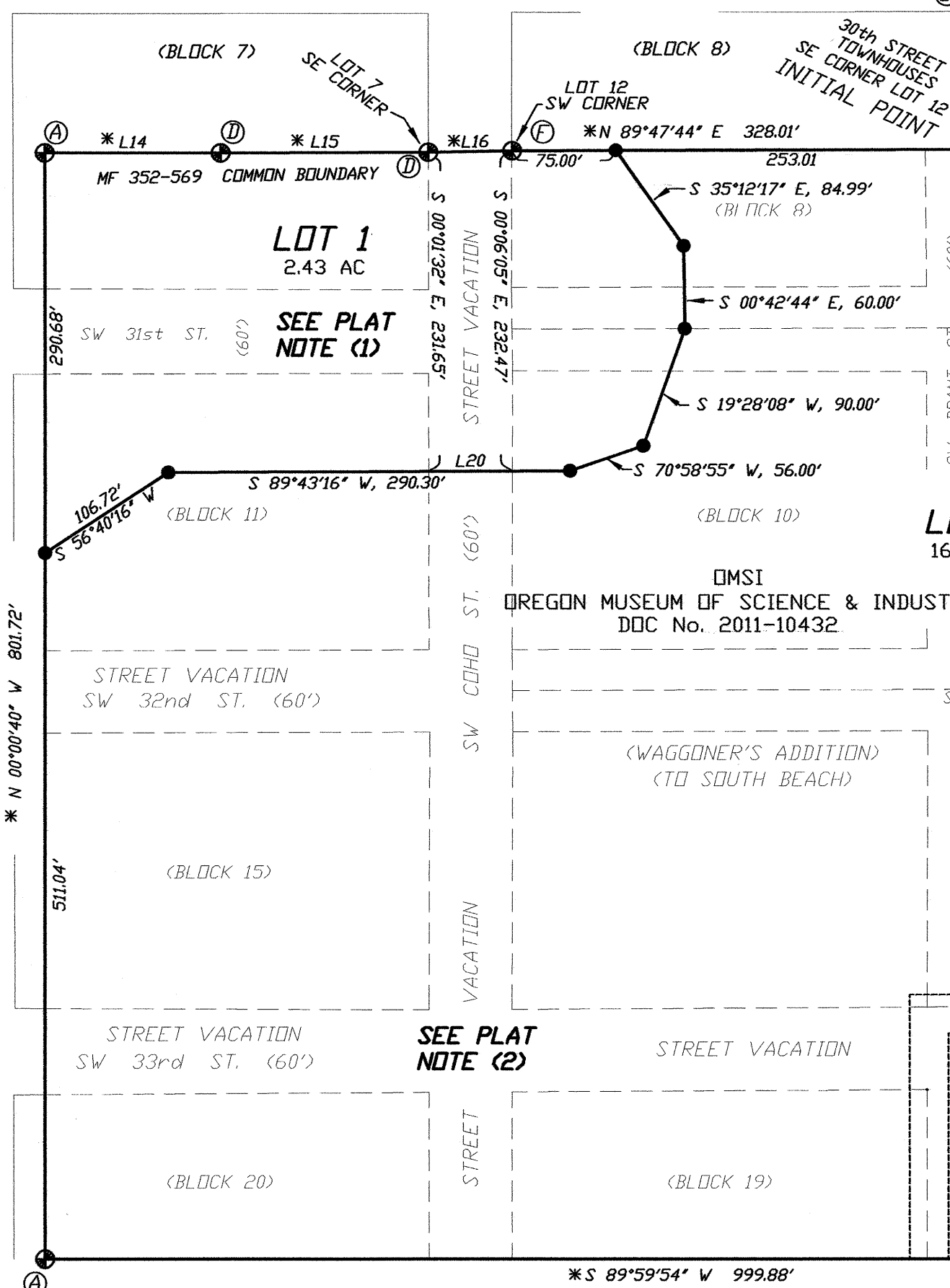


(BLOCK 4)

(BLOCK 3)

SW 30th ST. (60')

SW 30th ST.



CURVE TABLE

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING
C1	56.35	71°44'50"	45.00	52.74	S 84°13'09" E
C2	181.78	33°26'17"	311.48	179.21	S 65°02'28" E
C3	423.33	09°12'09"	2635.76	422.88	S 09°43'22" E
C4	210.56	04°34'38"	2635.76	210.51	S 06°41'43" W
C5	179.83	44°47'53"	230.00	175.29	S 20°00'35" E
C6	266.45	89°48'08"	170.00	240.00	N 42°30'42" W
C7	48.48	92°35'43"	30.00	43.38	N 43°55'00" W

BASIS OF BEARING
 BETWEEN MONUMENTS ① AND ②
 *N 00°00'46" W, 965.75'
 (N 00°00'46" W, 965.75')
 (C.S. 18,864)

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 00°01'10" W	99.92
L2	N 89°51'23" E	30.00
L3	N 00°03'03" E	60.08
L4	N 89°46'52" E	30.00
L5	N 57°00'11" E	55.77
L6	S 28°56'17" E	93.40
L7	N 87°24'46" W	106.07
L8	S 03°07'25" W	49.92
L9	S 87°24'46" E	108.08
L10	S 00°07'04" E	39.87
L11	N 89°57'46" W	116.99
L12	N 00°12'32" E	36.99
L13	N 89°58'15" W	30.00
L14	S 89°59'41" E	127.12
L15	N 89°47'53" E	150.06
L16	N 88°56'01" E	60.55
L17		
L18	S 00°12'30" W	35.48
L19		
L20	S 89°43'16" W	60.42
L27	S 58°14'23" W	61.46

SURVEY BY:
 DENISON SURVEYING, INC
 720 SW ANGLE ST.
 (541) 265-9308

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

Russell Johnson
 OREGON
 JULY 26, 1989
 RUSSELL JOHNSON
 2400

RENEWAL DATE:
 JUNE 30, 2015

I, RUSSELL JOHNSON CERTIFY THAT
 THIS IS A TRUE AND EXACT COPY
 OF THE ORIGINAL.

LEGEND:

- MONUMENT SET: 5/8" X 30" IRON ROD WITH YELLOW PLASTIC CAP MARKED "DENISON SURVEYING, NEWPORT OR"
- MONUMENT HELD: 5/8" IRON ROD WITH YELLOW PLASTIC CAP MARKED "DENISON SURVEYING, NEWPORT OR", UNLESS NOTED (CS 19,635)
- MONUMENTS FOUND - HELD FOR CONTROL
- * RECORD CS 19,635, MEASURED SAME AS RECORD, UNLESS NOTED

PLAT OF:
SUNSET DUNES

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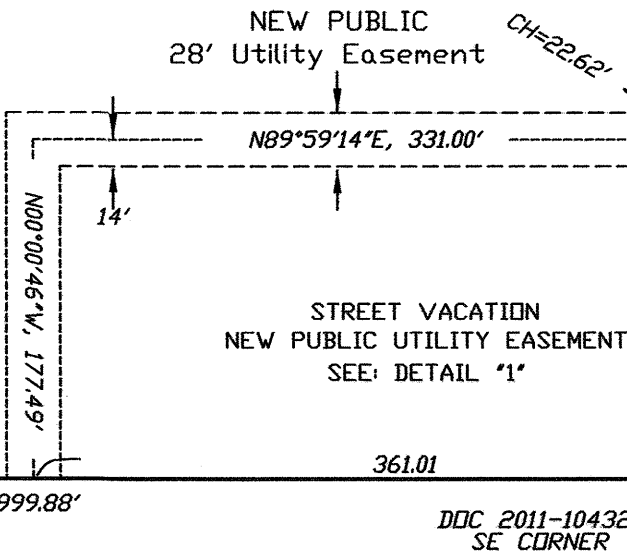
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C3	423.33	09°12'09"	2635.76	422.88	S 09°43'22" E
C4	210.56	04°34'38"	2635.76	210.51	S 06°41'43" W
C6	266.45	89°48'08"	170.00	240.00	N 42°30'42" W
C9	52.41	79°01'07"	38.00	48.35	N 39°29'47" E
C10	41.35	52°38'41"	45.00	39.91	S 74°39'47" E
C11	167.72	03°38'45"	2635.76	167.69	S 06°13'41" W
C12	36.88	84°32'01"	25.00	33.63	S 50°19'14" W

EASEMENTS OF RECORD

- BOOK 296, PAGE 1918, IN FAVOR OF CITY OF NEWPORT, TEMPORARY 40 FOOT CONSTRUCTION EASEMENT
- BOOK 296, PAGE 1922, IN FAVOR OF CITY OF NEWPORT, 27 FOOT UTILITY EASEMENT, AS SHOWN
- BOOK 321, PAGE 1558, IN FAVOR OF STATE OF OREGON DRAINAGE EASEMENT, AS SHOWN
- BOOK 321, PAGE 1561, IN FAVOR OF LINCOLN COUNTY 25 FOOT SCENIC VEGETATION EASEMENT, AS SHOWN
- BOOK 84, PAGE 354, IN FAVOR OF WEST COAST POWER FOR POWERLINES, UNKNOWN LOCATION
- BOOK 141, PAGE 170, IN FAVOR OF LENA McKEVITT FOR WATERLINE, UNKNOWN LOCATION
- BOOK 29, PAGE 889, IN FAVOR OF STATE OF OREGON DRAINAGE EASEMENT, UNABLE TO LOCATE
- BOOK 117, PAGE 1076, IN FAVOR OF CENTRAL LINCOLN P.U.D. 10 FOOT OVERHEAD POWERLINES, AS SHOWN ON SHEET 4.
- EASEMENTS FOR EXISTING PUBLIC UTILITIES IN VACATED STREET AREA, IF ANY.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 00°01'10" E	99.92
L2	S 89°51'23" W	30.00
L3	S 00°03'03" W	60.08
L4	S 89°46'52" W	30.00
L5	S 57°00'11" W	55.77
L6	S 28°56'17" E	93.40
L7	N 87°24'46" W	106.07
L8	S 03°07'25" E	49.92
L9	S 87°24'46" E	108.08
L20	N 17°59'22" E	15.72
L21	S 87°24'46" E	10.00
L22	S 72°05'23" E	128.97
L23	S 17°47'58" W	72.80
L24	S 17°47'58" W	146.33
L25	N 71°56'16" W	55.00
L26	S 17°47'58" W	43.97
L27	S 58°14'23" W	61.46

LOT 2
SEE: SHEET 3



SW ABALONE ST. 60'

SW ABALONE ST. (30')

SEE: DETAIL '2'
Existing MF 296-1922
27' Utility Easement
Existing/New
27' Utility Easement

LOT 6
0.74 AC
32,380 SF

LOT 5
1.00 AC
43,574 SF

RICHARD G. MURRY, JR
MF 250-0776

LOT 4
2.02 AC
87,783 SF

LOT 3
10.81 AC

INVESTORS XII LLC
DOC No. 2003-21895

LOT 3
10.81 AC

SET: BRASS SCREW WITH BRASS WASHER 'DENISON' IN BASE OF SIGNAL LIGHT

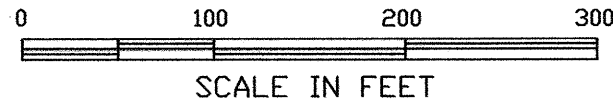
HIGHWAY 101

*S 00°30'34" E, 387.88'

SW 35th ST. 60'

DETAIL '3'
NEW PUBLIC
Utility Easement
S 25°22'27" W, 13.05'
N 68°55'49" W, 37.96'
116.98'
41.06'

SCALE: 1" = 100'



REGISTERED
PROFESSIONAL
LAND SURVEYOR

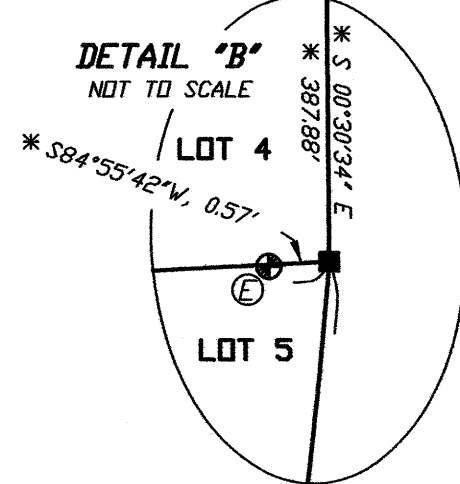
Russell Johnson
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RUSSELL JOHNSON
2400

RENEWAL DATE:
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OF THE ORIGINAL.

SURVEY BY:
DENISON SURVEYING, INC
720 SW ANGLE ST.
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DETAIL 'B'
NOT TO SCALE



LEGEND:

- MONUMENT SET: 5/8" X 30" IRON ROD WITH YELLOW PLASTIC CAP MARKED 'DENISON SURVEYING, NEWPORT OR'
- MONUMENT HELD: 5/8" IRON ROD WITH YELLOW PLASTIC CAP MARKED 'DENISON SURVEYING, NEWPORT OR', UNLESS NOTED (CS 19,635)
- MONUMENTS FOUND - HELD FOR CONTROL
- RECORD CS 19,635, MEASURED SAME AS RECORD, UNLESS NOTED

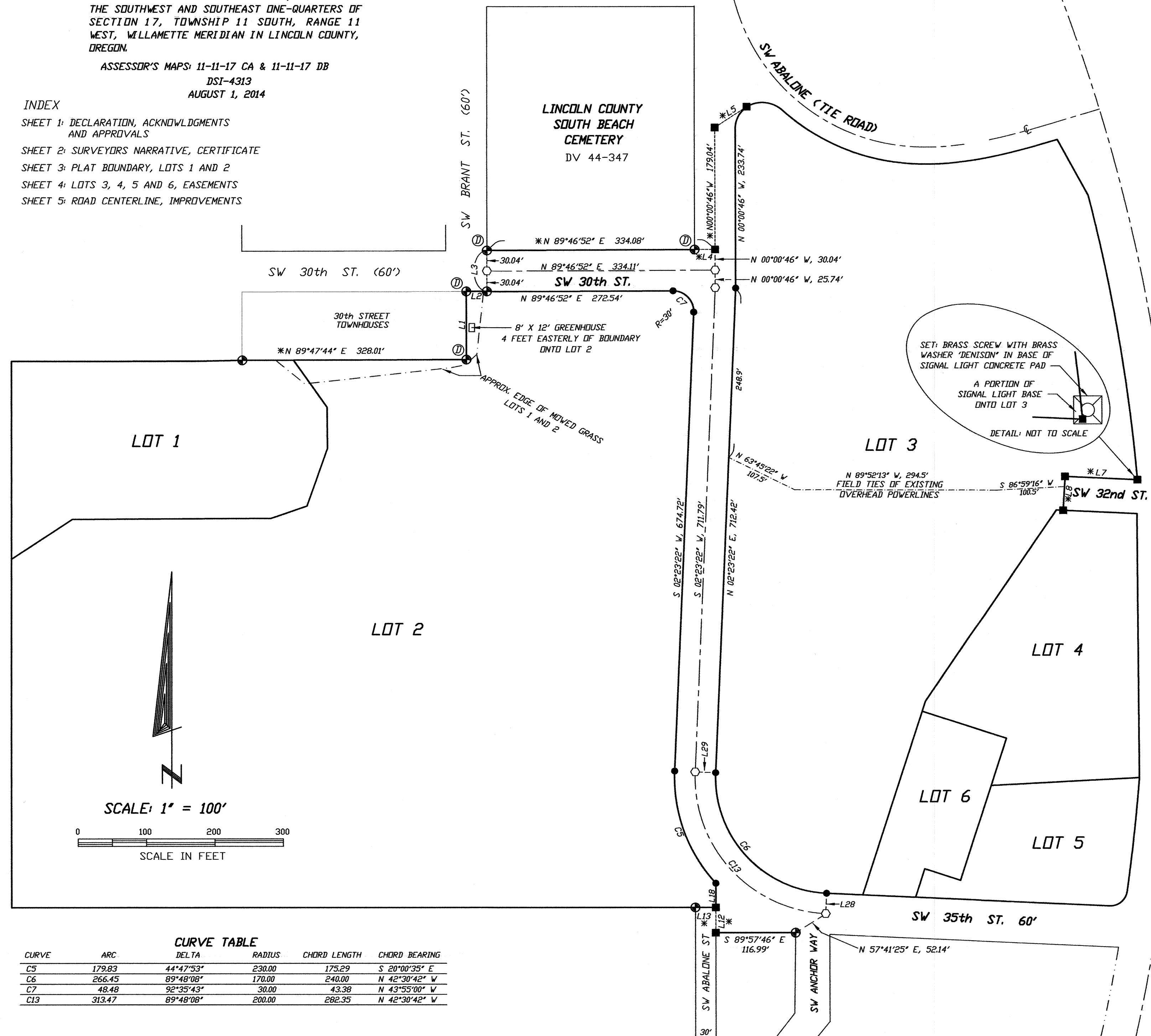
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ASSESSOR'S MAPS: 11-11-17 CA & 11-11-17 DB
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LINE TABLE

LINE	BEARING	DISTANCE
L1	N 00°01'10" W	99.92
L2	N 89°51'23" E	30.00
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L4	N 89°46'52" E	30.00
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L12	N 00°12'32" E	36.99
L13	N 89°58'15" W	30.00
L18	S 00°12'30" W	35.48
L28	S 02°35'14" W	30.00
L29	N 89°36'38" W	30.00

SURVEY BY:
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WITH YELLOW PLASTIC CAP MARKED
"DENISON SURVEYING, NEWPORT OR",
UNLESS NOTED (CS 19,635)
- ⊙ MONUMENTS FOUND - HELD FOR CONTROL
- * RECORD CS 19,635, MEASURED SAME AS
RECORD, UNLESS NOTED
- CALCULATED CENTERLINE POINTS TO BE
SET AFTER CONSTRUCTION

CURVE TABLE

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING
C5	179.83	44°47'53"	230.00	175.29	S 20°00'35" E
C6	266.45	89°48'08"	170.00	240.00	N 42°30'42" W
C7	48.48	92°35'43"	30.00	43.38	N 43°55'00" W
C13	313.47	89°48'08"	200.00	282.35	N 42°30'42" W

**CITY OF NEWPORT
PUBLIC NOTICE¹**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Newport, Oregon, will hold a public hearing to consider the following Conditional Use Permit request:

File No. 2-CUP-25:

Applicant & Owners: William Proctor, CFI Design Management (Jeff Atkinson, CFI Design Management, representative) (SJ Automotive Investments, Inc., owner)

Request: Approval of a request pursuant to Newport Municipal Code (NMC) Section 14.03.070/"Commercial and Industrial Uses" of the Newport Zoning Ordinance, for a conditional use permit to construct a 23,909 square foot Toyota dealership in a C-1/"Retail and Service Commercial" zone in which auto repair and sales are a conditional use.

Location/Subject Property: 3234 S Coast Hwy, Newport, OR 97365 (Tax Map 11-11-17-DB, Tax Lot 2000), 3441 SW Anchor Way (Tax Map 11-11-17-DB, Tax Lot 2100), and 3414 S Coast Hwy (Tax Map 11-11-17-DB, Tax Lot 2200).

Applicable Criteria: NMC Chapter 14.34.050: (1) The public facilities can adequately accommodate the proposed use; 2) the request complies with the requirements of the underlying zone or overlay zone; 3) the proposed use does not have an adverse impact greater than existing uses on nearby properties, or impacts can be ameliorated through imposition of conditions of approval; and 4) a proposed building or building modification is consistent with the overall development character of the neighborhood with regard to building size and height, considering both existing buildings and potential buildings allowable as uses permitted outright.

Testimony: Testimony and evidence must be directed toward the criteria described above or other criteria in the Comprehensive Plan and its implementing ordinances which the person believes to apply to the decision. Failure to raise an issue with sufficient specificity to afford the city and the parties an opportunity to respond to that issue precludes an appeal (including to the Land Use Board of Appeals) based on that issue. Submit testimony in written or oral form. Oral testimony and written testimony will be taken during the course of the public hearing. Letters sent to the Community Development (Planning) Department (address below under "Reports/Application Material") must be received by 3:00 p.m. the day of the hearing to be included as part of the hearing or must be personally presented during testimony at the public hearing. The hearing will include a report by staff, testimony (both oral and written) from the applicant and those in favor or opposed to the application, rebuttal by the applicant, and questions and deliberation by the Planning Commission. Pursuant to ORS 197.797 (6), any person prior to the conclusion of the initial public hearing may request a continuance of the public hearing or that the record be left open for at least seven days to present additional evidence, arguments, or testimony regarding the application.

Reports/Application Material: The staff report may be reviewed or a copy purchased for reasonable cost at the Newport Community Development (Planning) Department, City Hall, 169 SW Coast Hwy, Newport, Oregon, 97365, seven days prior to the hearing. The application materials (including the application and all documents and evidence submitted in support of the application), the applicable criteria, and other file material are available for inspection at no cost; or copies may be purchased for reasonable cost at this address.

Contact: Derrick Tokos, Community Development Director, (541) 574-0626, d.tokos@newportoregon.gov (address above in "Reports/Application Material").

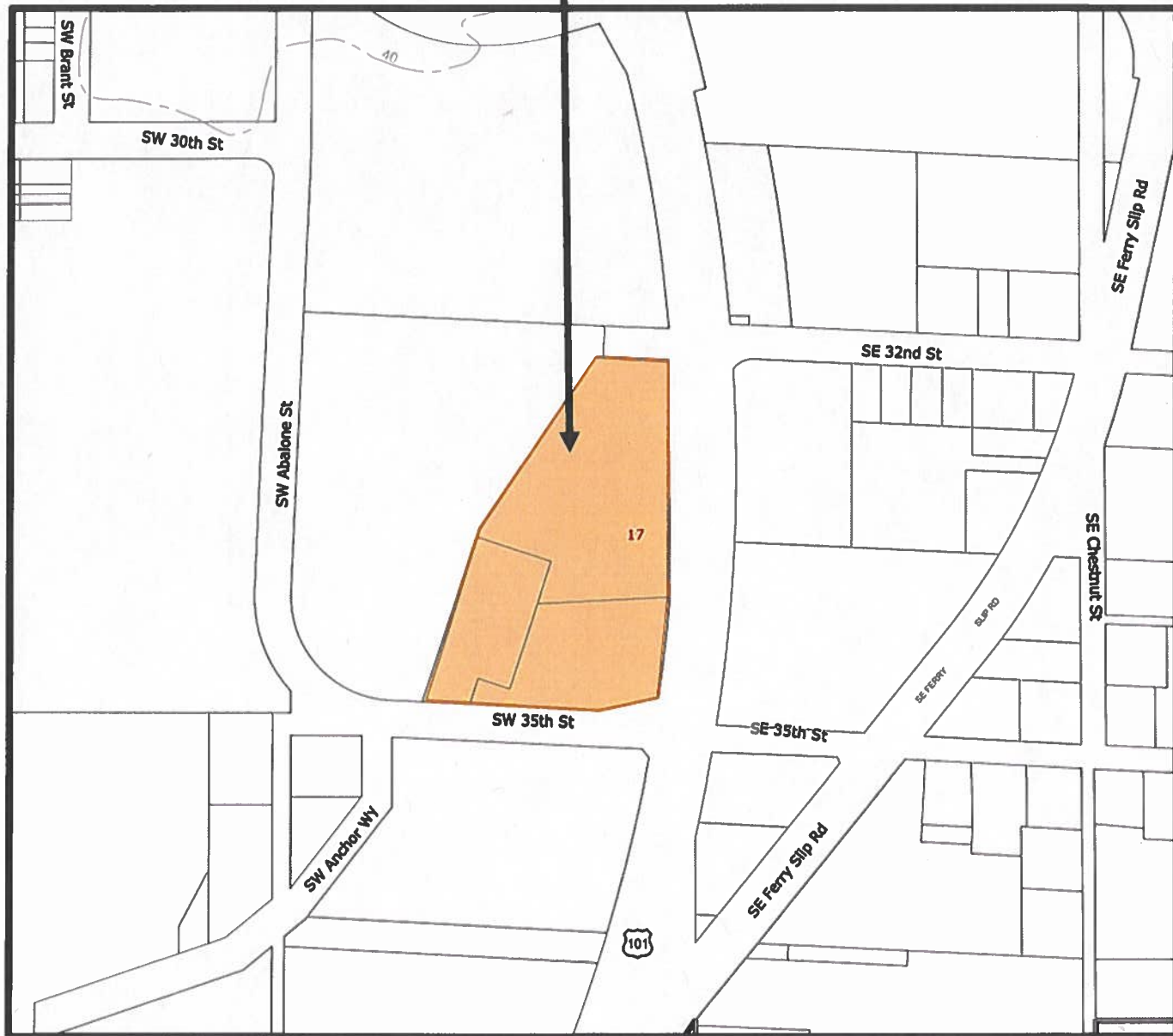
Time/Place of Hearing: Monday, September 22, 2025; 7:00 p.m.; City Hall Council Chambers (address above in "Reports/Application Material").

MAILED: August 25, 2025.

PUBLISHED: September 10, 2025 /Lincoln County Leader.

¹ Notice of this action is being sent to the following: (1) Affected property owners within 200 feet of the subject property according to Lincoln County tax records; (2) affected public utilities within Lincoln County; and (3) affected city departments.

Subject Properties



BUNGAY PROPERTIES LLC
PO BOX 1448
SANTA FE, NM 87504

INDUSTRIAL WELDING SUPPLY INC
PO BOX 20340
SALEM, OR 97307

INVESTORS XII LLC
100 E MAIN
STE A
MEDFORD, OR 97501

NEWPORT HOTELS LLC
300 WYANDOTTE ST
STE 150
KANSAS CITY, MO 64105

NEWPORT URBAN RENEWAL AGENCY
169 SW COAST HWY
NEWPORT, OR 97365

OREGON DEPT OF TRANSPORTATION
TECHNICAL LEADERSHIP CTR
RIGHT OF WAY SECTION MS#2
4040 FAIRVIEW IND DR SE
SALEM, OR 97302

RGH SB PROPERTY LLC
PO BOX 501
NEWPORT, OR 97365

SJ AUTOMOTIVE REAL ESTATE
1250 EAST I 30
ROCKWALL, TX 75087

SOUTH BEACH INN VESTMENTS LLC
45 SE 32ND ST
NEWPORT, OR 97365

WARD PAUL S COTSTEE & WARD
JUDITH A COTSTEE
241 SW BIRCH ST
DALLAS, OR 97338

WILLIAM PROCTOR
CFI DESIGN MANAGEMENT
6296 RUCKER RD, SUITE C
INDIANAPOLIS, IN 46220

JEFF ATKINSON
CFI DESIGN MANAGEMENT
6296 RUCKER RD, SUITE C
INDIANAPOLIS, IN 46220

File No. 2-CUP-25

Adjacent Property Owners Within 200ft

NW Natural
ATTN: Dave Sanders
2815 NE 36th Dr
Lincoln City, OR 97367

Email: Bret Estes
DLCD Coastal Services Center
brett.estes@dlcd.oregon.gov

CenturyLink
ATTN: Corky Fallin
740 State St
Salem OR 97301

Central Lincoln PUD
ATTN: Ty Hillebrand
PO Box 1126
Newport OR 97365

Charter Communications
ATTN: Steve Manning
Construction Coordinator
1400 Newmark Ave
Coos Bay, OR 97420

****EMAIL****
odotr2planmgr@odot.state.or.us

WaveDivision VII, LLC
dba Astound Broadband
4120 Citrus Ave
Rocklin, CA 95677

WaveDivision VII, LLC
dba Astound Broadband
650 College Rd. East, Suite 3100
Princeton, NJ 08540

Todd Drage
Engineering

Beth Young
Associate Planner

Robert Moser
Public Works

Rob Murphy
Fire Chief

Joseph Lease
Building Official

Jason Malloy
Police Chief

Steve Baugher
Finance Director

Laura Kimberly
Library

Michael Cavanaugh
Parks & Rec

Nina Vetter
City Manager

Chris Beatty
Engineering

Derrick Tokos
Community Development

Lance Vanderbeck
Airport

Ron Welsh
Engineering

EXHIBIT 'A'
(Affected Agencies)

(2-CUP-25)

Sherri Marineau

From: Sherri Marineau
Sent: Monday, August 25, 2025 9:55 AM
To: 'odotr2planmgr@odot.state.or.us'; Brett Estes
Subject: Conditional Use Permit - 2-CUP-25
Attachments: File 2-CUP-25 Notice.pdf

Attached is a notice concerning a land use request. The notice contains an explanation of the request, a property description and map, and a date for the public hearing. Please review this information to see if you would like to make any comments. We must receive comments prior to the last day of the comment period in order for them to be considered. **Should no response be received, a "no comment" will be assumed.**

Sherri Marineau
 Executive Assistant
 City of Newport
 Community Development Department
 169 SW Coast Highway
 Newport, OR 97365
 ph: 541.819.7239
 fax: 541.574.0644
s.marineau@newportoregon.gov



NEWPORT
OREGON

CITY HALL HOURS: Monday – Thursday 8:00am-6:00pm, CLOSED on FRIDAYS

PUBLIC RECORDS LAW DISCLOSURE. This e-mail is a public record of the City of Newport, and is subject to public disclosure unless exempt from disclosure under Oregon Public Records Law. This e-mail is subject to the State Records Retention Schedule for Cities.

Sherri Marineau

From: Sherri Marineau
Sent: Monday, August 25, 2025 9:55 AM
To: Derrick Tokos; Robert Murphy; Joseph Lease; Jason Malloy; Laura Kimberly; Michael Cavanaugh; Beth Young; Lance Vanderbeck; Steve Baugher; Chris Beatty; Robert Moser; Ron Welsh; Nina Vetter; Todd Drage
Cc: Sherri Ingles
Subject: Conditional Use Permit - 2-CUP-25
Attachments: File 2-CUP-25 Notice.pdf

Attached is a notice concerning a land use request. The notice contains an explanation of the request, a property description and map, and a date for the public hearing. Please review this information to see if you would like to make any comments. We must have your comments at least 10 days prior to the hearing period in order for them to be considered. **Should no response be received, a "no comment" will be assumed.**

Thank you,

Sherri Marineau
 Executive Assistant
 City of Newport
 Community Development Department
 169 SW Coast Highway
 Newport, OR 97365
 ph: 541.819.7239
 fax: 541.574.0644
s.marineau@newportoregon.gov



NEWPORT
OREGON

CITY HALL HOURS: Monday – Thursday 8:00am-6:00pm, CLOSED on FRIDAYS

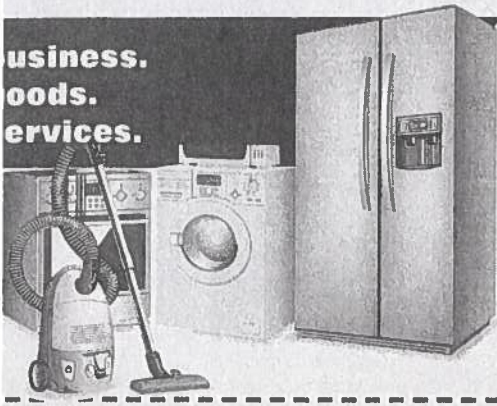
PUBLIC RECORDS LAW DISCLOSURE. This e-mail is a public record of the City of Newport, and is subject to public disclosure unless exempt from disclosure under Oregon Public Records Law. This e-mail is subject to the State Records Retention Schedule for Cities.

CITY OF NEWPORT

NOTICE OF A PUBLIC HEARING

The City of Newport Planning Commission will hold a public hearing on Monday, September 22, 2025, at 7:00 p.m. in the City Hall Council Chambers to consider File No. 2-CUP-25, a request submitted by applicant William Proctor, CFI Design Management (Jeff Atkinson, CFI Design Management, representative) (SJ Automotive Investments, Inc., owner) for a conditional use permit filed pursuant to Newport Municipal Code (NMC) Section 14.03.070/"Commercial and Industrial Uses" of the Newport Zoning Ordinance, for a conditional use permit to construct a 23,909 square foot Toyota dealership in a C-1/"Retail and Service Commercial" zone in which auto repair and sales are a conditional use. The property is located at 3234 S Coast Hwy, Newport, OR 97365 (Tax Map 11-11-17-DB, Tax Lot 2000), 3441 SW Anchor Way (Tax Map 11-11-17-DB, Tax Lot 2100), and 3414 S Coast Hwy (Tax Map 11-11-17-DB, Tax Lot 2200). The applicable criteria per NMC Chapter 14.34.050 are that: 1) The public facilities can adequately accommodate the proposed use; 2) the request complies with the requirements of the underlying zone or overlay zone; 3) the proposed use does not have an adverse impact greater than existing uses on nearby properties, or impacts can be ameliorated through imposition of conditions of approval; and 4) a proposed building or building modification is consistent with the overall development character of the neighborhood with regard to building size and height, considering both existing buildings and potential buildings allowable as uses permitted outright. Testimony and evidence must be directed toward the criteria described above or other criteria in the Comprehensive Plan and its implementing ordinances which the person believes to apply to the decision. Failure to raise an issue with sufficient specificity to afford the city and the parties an opportunity to respond to that issue precludes an appeal (including to the Land Use Board of Appeals) based on that issue. Submit testimony in written or oral form. Oral testimony and written testimony will be taken during the course of the public hearing. Letters sent to the Community Development (Planning) Department, City Hall, 169 SW Coast Hwy, Newport, OR 97365, must be received by 3:00 p.m. the day of the hearing to be included as part of the hearing or must be personally presented during testimony at the public hearing. The hearing will include a report by staff, testimony (both oral and written) from the applicant and those in favor or opposed to the application, rebuttal by the applicant, and questions and deliberation by the Planning Commission. Pursuant to ORS 197.797 (6), any person prior to the conclusion of the initial public hearing may request a continuance of the public hearing or that the record be left open for at least seven days to present additional evidence, arguments, or testimony regarding the application. The staff report may be reviewed or a copy purchased for reasonable cost at the Newport Community Development (Planning) Department (address above) seven days prior to the hearing. The application materials (including the application and all documents and evidence submitted in support of the application), the applicable criteria, and other file material are available for inspection at no cost; or copies may be purchased for reasonable cost at the above address. Contact Derrick Tokos, Community Development Director, (541) 574-0626, d.tokos@newportoregon.gov (address above).

FOR PUBLICATION ONCE ON Wednesday, September 10, 2025.



business.
foods.
services.

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PUBLIC NOTICES

persons whose rights may be affected by the proceedings in this estate may obtain additional information from records of the Court, the personal representative, or attorney for the personal representative. Richard M. Getman, Personal Representative /s/ James Shikany OSB#014129, James Shikany, PC, Attorney for Personal Representative, 13100 SE Sunnyside Road, Clackamas, Oregon 97015 Tel: (503) 698-9808 Fax: (503) 210-8344 Email: shikanylaw@hotmail.com

LCL25-0402 CITY OF NEWPORT NOTICE OF A PUBLIC HEARING
The City of Newport Planning Commission will hold a public hearing on Monday, September 22, 2025, at 7:00 p.m. in the City Hall Council Chambers to consider File No. 2-CUP-25, a request submitted by applicant William Proc-

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PUBLIC NOTICES

tor, CFI Design Management (Jeff Atkinson, CFI Design Management, representative) (SJ Automotive Investments, Inc., owner) for a conditional use permit filed pursuant to Newport Municipal Code (NMC) Section 14.03.070/"Commercial and Industrial Uses" of the Newport Zoning Ordinance, for a conditional use permit to construct a 23,909 square foot Toyota dealership in a C-1/"Retail and Service Commercial" zone in which auto repair and sales are a conditional use. The property is located at 3234 S Coast Hwy, Newport, OR 97365 (Tax Map 11-11-17-DB, Tax Lot 2000), 3441 SW Anchor Way (Tax Map 11-11-17-DB, Tax Lot 2100), and 3414 S Coast Hwy (Tax Map 11-11-17-DB, Tax Lot 2200). The applicable criteria per NMC Chapter 14.34.050 are that: 1) The public facilities can adequately accommo-

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PUBLIC NOTICES

date the proposed use; 2) the request complies with the requirements of the underlying zone or overlay zone; 3) the proposed use does not have an adverse impact greater than existing uses on nearby properties, or impacts can be ameliorated through imposition of conditions of approval; and 4) a proposed building or building modification is consistent with the overall development character of the neighborhood with regard to building size and height, considering both existing buildings and potential buildings allowable as uses permitted outright. Testimony and evidence must be directed toward the criteria described above or other criteria in the Comprehensive Plan and its implementing ordinances which the person believes to apply to the decision. Failure to raise an issue with sufficient specificity to afford the city and the parties an opportunity to respond to that issue precludes an appeal (including to the Land Use Board of Appeals) based on that issue. Submit testimony in written or oral form. Oral testimony and written testimony will be taken during the course of the public hearing. Letters sent to the Community Development (Planning) Department, City Hall, 169 SW Coast Hwy, Newport, OR 97365, must be received by 3:00 p.m. the day of the hearing to be included as part of the hearing or must be personally presented during testimony at the public hearing. The hearing will include a report by staff, testimony (both oral and written) from the applicant and those in favor or opposed to the application, rebuttal by the applicant, and questions and deliberation by the Planning Commission. Pursuant to ORS 197.797 (6), any person prior to the conclusion of the initial public hearing may request a continuance of the public hearing or that the record be left open for at least seven days to present additional evidence, arguments, or testimony regarding the application. The staff report may be reviewed or a copy purchased for reasonable cost at the Newport Community Development (Planning) Department (address above) seven days prior to the hearing. The application materials (including the application and all documents and evidence submitted in support of the application), the applicable criteria, and other file material are available for inspection at no cost; or copies may be purchased for reasonable cost at the above address. Contact Derrick Tokos, Community Development Director, (541) 574-0626, d.tokos@newportoregon.gov (address above).

LCL25-0403 NOTICE IS HEREBY GIVEN THAT THE PORT OF NEWPORT

claims a lien in the amount claimed below, pursuant to ORS87.152,

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PUBLIC NOTICES

OR 97365. Bid forms can be found online at www.portofnewport.com or at the address listed above. The sale of the property will be "as is, where is" and there are no representations by the lien claimant as to the condition of the property or its title. Any person wishing to inspect the property prior to the sale may do so during normal business hours, by contacting the Harbormaster at 541-270-5557.

LCL25-0406 IN THE CIRCUIT COURT FOR THE STATE OF OREGON FOR THE COUNTY OF LINCOLN

IN THE MATTER OF THE ESTATE OF MICHAEL TERRY NELSON, DECEASED CASE NUMBER: 25PB06999 NOTICE TO INTERESTED PERSONS NOTICE IS HEREBY GIVEN THAT Mathew C. Nelson has been appointed Personal Representative. All persons having claims against the estate are required to present them to the Personal Representative, c/o Freeman Green, Freeman Green Law, 525 Glen Creek Rd NW, Suite 200, Salem, OR 97304, within four months after the date of publication of this notice, or the claims may be barred. All persons whose rights may be affected by the proceedings may obtain additional information from the records of the Court, the Personal Representative, or the attorney for the Personal Representative. Published on September 10, 2025.

LCL25-0407 PUBLIC NOTICE

The Pacific Communities Health District Board of Directors will hold a Virtual meeting on Tuesday, September 16, 2025, at 4:00 p.m. by Microsoft Teams or in person at Samaritan Pacific Communities Hospital 930 SW Abbey St, Newport, Oregon 97365, Conference room 1. Persons interested in joining the Virtual meeting must have the Microsoft Teams downloaded on a personal computer or cell phone. To request a Teams Meeting invite please email cmacnab@samhealth.org or call 541-574-4674. To join by phone (audio only) option, directly call 1-971-254-1254, followed by Conference ID: 690 365 553#. Agenda: Call to Order, Additions or Change to Agenda, Approval of Minutes from July 15, 2025, Invitation for Citizen Comments, Dig Deep Water Resiliency Update, Water Resiliency Loan Application, Bylaws Revisions/Resolution, Financial Reports, Report from Legal Counsel, Construction/Facilities/Water Resiliency Update, Hospital Update, PCHD Foundation Update, Board Items, Adjourn. Catherine Macnab, Recorder, PACIFIC COMMUNITIES HEALTH DISTRICT For additional information contact 541-574-4674 or www.pch-district.org

NOTICE TO INTERESTED PERSONS

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PUBLIC NOTICES

representative, or the attorneys for the personal representative. ADDRESS FOR PERSONAL REPRESENTATIVE: c/o Attorney Joshua D. Zantello, OSB #121562, Zantello Law Group, 1818 NE 21st Street, Lincoln City, OR 97367. DATED and first published: September 10, 2025. /s/ JOSHUA D. ZANTELO, Joshua D. Zantello, Attorney for Personal Representative.

IN THE CIRCUIT COURT OF THE STATE OF OREGON FOR THE COUNTY OF LINCOLN

In the Matter of the Estate of: ROBERT CARL LAMB, Deceased. Case No. 25PB07226 NOTICE TO INTERESTED PERSONS NOTICE IS HEREBY GIVEN THAT CATHY ANNE STEINBACH has been appointed personal representative. All persons having claims against the estate are required to present them, with vouchers attached, to Personal Representative, ROBERT CARL LAMB, at the address below, within four months after the date of publication of this notice, or the claims may be barred. All persons whose rights may be affected by the proceedings may obtain additional information from the records of the court, the personal representative, or the attorneys for the personal representative. ADDRESS FOR PERSONAL REPRESENTATIVE: c/o Attorney Joshua D. Zantello, OSB #121562, Zantello Law Group, 1818 NE 21st Street, Lincoln City, OR 97367. DATED and first published: September 10, 2025. /s/ JOSHUA D. ZANTELO, Joshua D. Zantello, Attorney for Personal Representative.

SELF STORAGE PUBLIC SALE SAFE-LOCK STORAGE

3639 SE Ash St South Beach, Oregon 97366 Saturday, 9/27/2025 @ 10:00am. C06 - Rich Rouske, L31 - Victoria Sharp, S29 - Kaitlyn Mathers. Sale Subject to Cancellation. Safe-Lock Storage reserves the Right to refuse any and all bids.

LCL25-0387 NOTICE OF SHERIFF'S SALE #25-0688

On September 29, 2025, at the hour of 10:00 a.m., at the Lincoln County Courthouse, 225 W Olive St, Room 203, in the City of Newport, Oregon, the defendant's interest will be sold, subject to redemption, in the real property commonly known as: 340 Southeast 3rd St, Toledo, OR 97391. The court case number is 17CV44616, Deutsche Bank National Trust Company, as Trustee Under The Pooling and Servicing Agreement Relating to IMPAC Secured Assets Corp., Mortgage Pass-Through Certificates, Series 2004-2, plaintiff(s) vs. The Unknown Heirs, Assigns, and Devisees of Erika L. Heins AKA Erika L. Hedgcoth, Creditors Collection Service, Ray Klein Inv. DBA Professional Credit Service and All Other Persons or Parties Unknown claiming any right title

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PUBLIC NOTICES

to-wit: APN: R3463 PARCEL 3, PARTITION PLAT NO. 2021-16, 11 IN LINCOLN COUNTY, OREGON, ACCORDING TO THE OFFICIAL PL THEREOF, RECORD JUNE 30, 2021 IN LINCOLN COUNTY PL RECORDS. Commonly known as: 224 PIONEER MOUNTAIN LOOP, TOLDO, OR 97391 Both Beneficiary, Nations Mortgage LLC, and Trustee, Nathan F. Sml OSB #120112, ha elected to sell the real property to satisfy the obligations secured by said Trust Deed a notice has been recorded pursuant to Section 86.752(3) of Oregon Revised Statutes. The default for which the foreclosure is made is the Grantor's failure to pay Failed to pay payment which became due To Payment(s): Total Payment(s) from 08/01/2025 to 07/31/2025

ACROSS

- 1 It's on either side of a weather front
- 8 Like some pain-causing toenails
- 15 Award for "Nomadland"
- 20 Decay of a plant's stalk
- 21 Suave, glib sort
- 22 1/24 of a day, in French
- 23 Astronauts' advisory group?
- 25 Blows gently
- 26 NHL great Bobby
- 27 Dot in la mer
- 28 Candied nut given to a kid to quell a tantrum?
- 30 Advice for Fonda when she has a grievance?
- 35 Finds a new purpose for
- 36 Saudi export
- 37 Adele's vocal range
- 38 Without remuneration
- 41 Big cheese
- 44 RBI, e.g.
- 45 "Lily White" novelist Susan

1	2	3	4
20			

RTEK Estate

Newport • 541-265-8785

HOUSE

- 12 to 2PM

ace St, Waldport

STINGS:

ogsden Rd, Logsden

W Lake St, Newport

4 Siletz Hwy, Siletz

Chantelle Charpentier

Se habla español

Connie Whaley

Mike Burkhard

November 7, 2022

Project #: 27664

Mr. Derrick I. Tokos, AICP
City of Newport – Community Development Department
169 SW Coast Highway
Newport, Oregon 97365

RE: Toyota of Newport Reconstruction Trip Generation Estimate

Dear Derrick:

Jackson Automotive Group proposes to expand the Toyota of Newport on their existing site located at 3234 SW Coast Highway (US 101) and property to the west. This letter documents the proposed site and access changes as well as site trip generation estimates. This information has been prepared to help inform City and Oregon Department of Transportation (ODOT) review requirements. The proposed changes are estimated to generate fewer than 500 new daily vehicular trips and less than 50 peak hour trips after accounting for existing site uses to be removed with the site reconstruction.

Project Overview

The proposed new Toyota of Newport building will replace the existing 11,355 square feet main show room and service building with a new building encompassing 26,080 square feet. Three existing 3,060 square foot buildings located along SW Anchor Way on the project site previously served storage and manufacturing uses operated by others and will also be removed. A conceptual proposed site plan illustrating the changes is attached.

Today, the site is accessible to vehicles at five locations (inclusive of the off-site existing buildings along SW Anchor Way that will be removed). These access points include a curbless portion of the site frontage along SW Anchor Way, three driveways on US 101 and a curbless unpaved portion of SW 35th Street at the southern end of the site. As part of the site changes, the applicant proposes to:

- Abandon and vacate the existing access to SW Anchor Way;
- Abandon and vacate the existing right-in-right-out driveway on US 101 near the northern portion of the site;
- Relocate the existing full movement driveway on US 101 near the center of the site to the north;
- Abandon and vacate the existing southernmost driveway on US 101; and
- Reconstruct and extend SW 35th Street west from US 101 to SW Anchor way and provide two driveways to the site on SW 35th Street.

Trip Generation Estimates

Table 1 summarizes trip estimates prepared for the existing buildings (to be removed) and the proposed new building using trip rates obtained from the *Trip Generation Manual, 11th Edition* published by the Institute of Transportation Engineers in 2021. Trip estimates were prepared using average rates for based on building size.

Table 1: Trip Generation Estimates

Land Use	ITE Code	Size (Square Feet)	Daily Trips	Weekday AM Peak Hour			Weekday PM Peak Hour		
				Total	In	Out	Total	In	Out
Existing Buildings									
Automobile Sales (New)	840	11,355	316	21	15	6	27	11	16
Warehousing	150	9,180	16	2	2	0	2	1	1
Total Existing		20,535	332	23	17	6	29	12	17
Proposed Toyota of Newport									
Automobile Sales (New)	840	26,080	726	49	36	13	63	25	38
Proposed - Existing			394	26	19	7	34	13	21

Next Steps

Newport Municipal Code Section 14.45.010.A indicates that the City shall require a Traffic Impact Analysis under several circumstances including 1) when the proposal may generate 500 or more average daily trips or 50 PM peak-hour trips or more and 2) when the proposal may increase use of any adjacent street by 10 vehicles or more per day that exceeds 26,000 pound gross vehicle weight. The ODOT Change of Use criteria includes similar trip thresholds, finding a "change of use" has occurred when the number of peak hour trips increases by 50 or more AND it represents a 20% or more increase in trips; or the number of average daily trips increases by 500 or more AND it represents an increase of 20% or more; or daily use of the connection by large vehicles with gross vehicle weight rating of 26,000 pounds or more increase by 10 or more vehicles. Delivery trucks to the site are not anticipated to exceed the truck thresholds.


The proposed redevelopment trip generation shown in Table 1 does not exceed any of the City or ODOT trip-based thresholds for requiring a traffic study. Further, the consolidation and closure of existing access points along US 101 moves in the direction of furthering access management principles. As such, it appears that no further traffic analysis may be required.

We request that you review the trip estimates above and share them with City and ODOT Region 2 staff as appropriate.

We would then appreciate direction City and/or ODOT staff may have as it relates to potential additional traffic study or driveway permitting requirements.

Please contact us if you have questions or need further information as you complete your review.

Sincerely,
KITTELSON & ASSOCIATES, INC.


Chris Brehmer, PE
Senior Principal Engineer


Julia Kuhn, PE
Senior Principal Engineer

Cc: Jo Ann Pacheco, Jackson Automotive Group
Byron Balogh and Paul Kurth, LRS Architects



GENERAL NOTES

- [illegible]




















KEYNOTES

- 2 RIGHT OF WAY LANDSCAPING
3 SETBACK BUFFER LANDSCAPING
4 LOWBUSH SPACE 15 FT X 10 FT

GENERAL NOTES

- [illegible]

LEGEND

- | | |
|---|------------------------------------|
|  | SEE EASEMENTS |
|  | SEE PROPERTY BOUNDARY |
|  | PROPOSED BUILDING |
|  | EXISTING BUILDING |
|  | PROPOSED CONCRETE DRIVEWALK |
|  | EXISTING CONCRETE DRIVEWALK |
|  | SEE EASEMENTS TO ADJACENT LOTS |
|  | MEANS OF ACCESS |
|  | PUBLIC UTILITY TO ACCESSIBLE ROUTE |
|  | SEE POLE LIGHTING |
|  | BOLLARD LIGHTING |
|  | EXISTING SITE LIGHTING |
|  | NO. OF PARKING SPACES IN GROUP |
|  | TRAFFIC ARROW |
|  | FIRE HYDRANT |
|  | EXISTING THE HYDRANT |
|  | FIRE DEPARTMENT CONNECTION |
|  | SPOT GRADE ELEVATION |
|  | FINISH GRADE ELEVATION |

**OVERALL
ARCHITECTURAL
SITE PLAN**

PARKING TYPES	
TYPE	# OF STALLS
CUSTOMER	21
EMPLOYEE	24
VENTURIST	20
PRICE	10

1. OVERALL SITE PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

CONSULTANT:

PROJECT NUMBER: 221417

JACKSON
TOYOTA OF
NEWPORT

3234 SW COAST HWY
NEWPORT, OR 97366

SHEET TITLE:
OVERALL
ARCHITECTURAL
SITE PLAN

DRAWN BY: SKH

SHEET:

A002
DESIGN DEVELOPMENT
11/04/2022

LRS Architects, Inc. © 2022

GENERAL NOTES

USE

VEHICLE REPAIR AND SALES-ORIENTED BULK RETAIL
(CONDITIONAL USE)

ZONING SETBACKS

ZONE: C-1 COMMERCIAL

FRONT: 15 FT
SIDE: 0 FT
REAR: 0 FT
MAX. BUILDING HEIGHT: 50 FT

LANDSCAPE REQUIREMENTS

10% OF TOTAL SURFACE AREA IN PARKING AREAS TO
BE LANDSCAPED.

TOTAL SITE LANDSCAPE AREA REQUIRED: 10%
(INCLUDES THE RIGHT-OF-WAY BETWEEN CURB AND
PROPERTY LINE)
LANDSCAPE AREA PROVIDED: 18.5%

VEHICLE PARKING REQUIREMENTS

USE: BULK RETAIL (14.14.030)
RATE: 1 SPACE PER 600 SF
REQUIRED STALLS: 44 (26,000 SF/600 = 44)
PROVIDED STALLS: 72
(DOES NOT INCLUDE INVENTORY STORAGE)
DRIVE AISLES: 25 FT MIN. AT 90° PARKING,
MANUFACTURER REQUIREMENT
TYPICAL PARKING STALL: 9 FT X 20 FT

BICYCLE PARKING REQUIREMENTS

TABLE 14.14.070: 26 TO 50 VEHICLES STALL PROVIDED

REQUIRED: 2 BICYCLE PARKING STALLS
PROVIDED: 2 BICYCLE PARKING STALLS

LOADING ZONES

TABLE 14.14.110: 20,000-79,000 SF

REQUIRED: 1 LOADING ZONE
(35 FT X 10 FT X 14 FT IN HEIGHT)

PARKING TYPES

TYPE	# OF STALLS
CUSTOMER	21
EMPLOYEE	24
INVENTORY (NOT REQUIRED)	89
SERVICE	19
Grand total	153

GENERAL NOTES

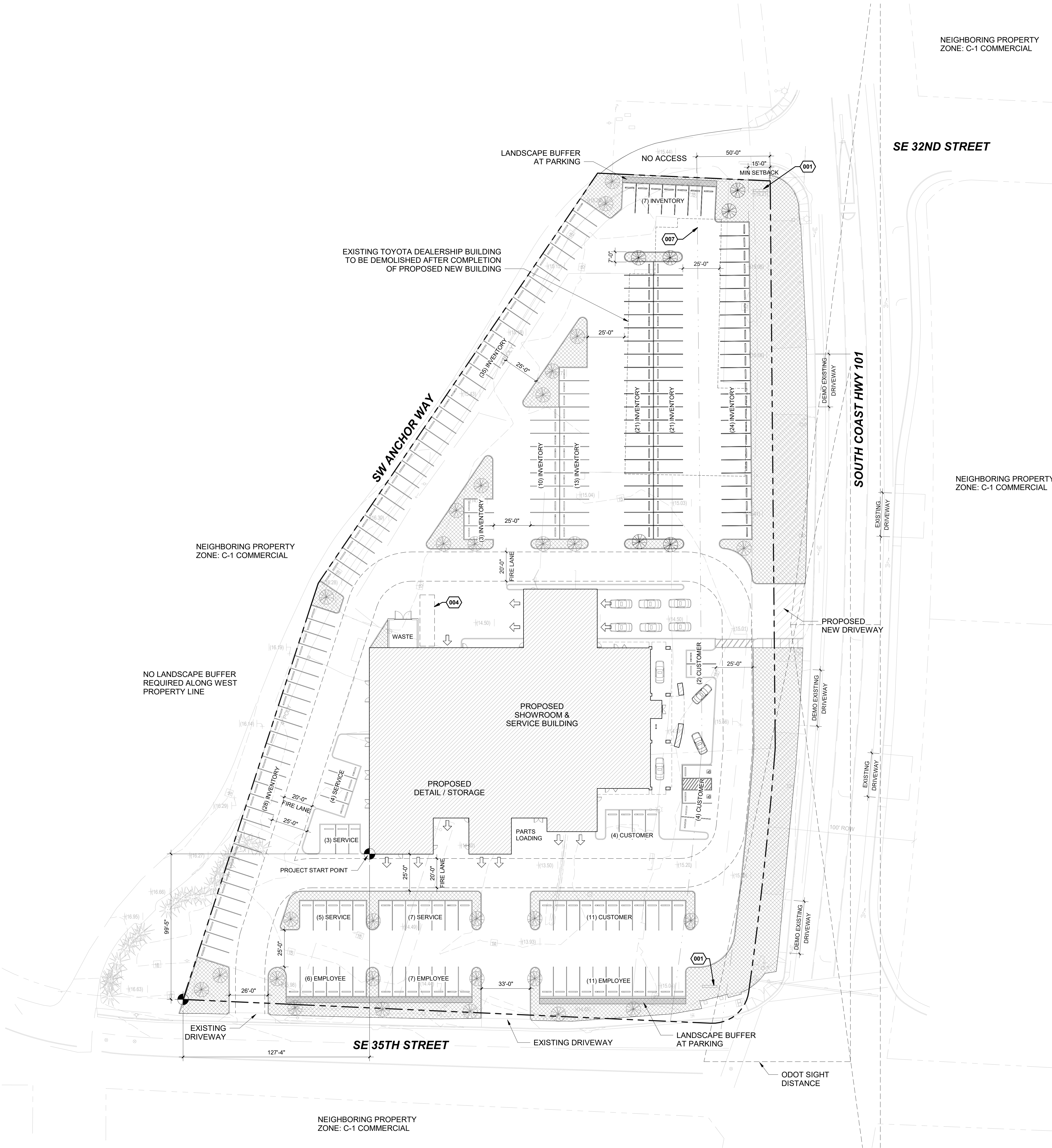
- SITE INFORMATION IS BASED ON OWNERS SURVEY
DATED 02.11.2022 BY K&D ENGINEERING.
- ALL FINISH EXISTING FLOOR ELEVATIONS WERE
BASED ON SURVEY DATED XXX BY XXX.
- REFER TO CIVIL PLANS FOR MORE DEMOLITION
INFORMATION.
- COORDINATE WITH SURVEYOR DISCONNECTION OF
ALL PRIVATE AND PUBLIC UTILITIES IF REQUIRED.
- ALL SURVEY INFORMATION INDICATING ALL EXISTING
CONDITIONS ARE SHOWN FOR REFERENCE ONLY.
- SEE A1001 FOR STANDARD ACCESSIBILITY
REQUIREMENTS.
- ALL PARKING SPACE DIMENSIONS ARE TO ASPHALT
SIDE OF CURB. PARKING SPACES ARE 9'-0" OC UNO.
- STREET, PARKING, DRIVE CUTS, AND/OR PUBLIC
RIGHT OF WAY INFORMATION ARE SHOWN FOR
REFERENCE ONLY. SEE CIVIL DRAWINGS FOR
DETAILED INFORMATION.
- DIMENSIONS SHOWN ON THIS PLAN ARE FOR
GENERAL LAYOUT OF THE BUILDINGS AND SITE
ELEMENTS.
- REFER TO THE LEGAL SURVEY (PROVIDED BY
OTHERS) FOR PROPERTY LINE DIMENSIONS AND
EXACT LOCATIONS OF EXISTING SITE ELEMENTS.
- SEE CIVIL FOR TYPICAL DIMENSIONS UNO.
- TYPICAL CURB RADIUS IS 3'-0" AT ASPHALT SIDE OF
CURB UNO.
- SEE SHEET A502 FOR ADDITIONAL SIGNAGE
INFORMATION AND SIGNAGE CALCULATIONS.

KEYNOTES

- 001 TOYOTA PYLON SIGN #829 (QTY: 2)
004 LOADING SPACE 35 FT X 10 FT
007 FORMER 50' HWY 101 SETBACK FOR I1 ZONE

LEGEND

- SITE EASEMENTS
- SITE SETBACKS
- SITE PROPERTY BOUNDARY
- PROPOSED BUILDING
- EXISTING BUILDING
- PROPOSED CONCRETE SIDEWALK
- EXISTING CONCRETE SIDEWALK
- SITE EGRESS PATH TO RIGHT OF WAY
- ENTRY/EXIT ACCESS TO ACCESSIBLE
MEANS OF EGRESS
- PUBLIC ENTRY ON ACCESSIBLE
ROUTE
- SITE POLE LIGHTING
- BOLLARD LIGHTING
- EXISTING SITE LIGHTING
- NO. OF PARKING SPACES IN GROUP
- TRAFFIC ARROW
- FIRE HYDRANT
- EXISTING FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SPOT GRADE ELEVATION
- FINISH FLOOR ELEVATION



1. OVERALL SITE PLAN

A002 SCALE: 1" = 30'-0"

0 15' 30' 60'



From: LINER Duane J
To: Derrick Tokos
Cc: FELDMANN James; "Chip Edwards"; WAHL Carla S; KNECHT Casey
Subject: RE: Newport File No. 2-CUP-25 ODOT US101 Hwy009 MP 142.25 Vic
Date: Wednesday, September 3, 2025 2:45:05 PM
Attachments: image001.png
image002.png
image003.png

Derrick,

Thank you for your email and clarification that the City would not be looking for Toyota of Newport to replace the existing sidewalk and bike lane at this time.

I look forward to the applicant contacting us for any proposed work in highway right of way.

PS – I have cc'd Carla Wahl (ODOT District 4 Permit Specialist) on this email as I will be working with her on processing of any permit applications submitted for this project regarding work in highway right of way.

Thank you

- duane

Duane James Liner, P.E.
Development Review Coordinator
ODOT - Region 2
541-757-4140

From: Derrick Tokos <D.Tokos@NewportOregon.gov>
Sent: Tuesday, August 26, 2025 4:01 PM
To: LINER Duane J <Duane.J.LINER@odot.oregon.gov>
Cc: FELDMANN James <James.FELDMANN@odot.oregon.gov>; 'Chip Edwards' <chipe@jacksonautomotivegroup.com>
Subject: RE: Newport File No. 2-CUP-25 ODOT US101 Hwy009 MP 142.25 Vic

This message was sent from outside the organization. Treat attachments, links and requests with caution. Be conscious of the information you share if you respond.

Hi Duane,

The City will not be looking for Toyota of Newport to replace the existing sidewalk and bike lane along US 101 with a new separated sidewalk and buffered bike lane. The 35th Street signal and related improvements are relatively new, and the redevelopment project that Toyota of Newport is contemplated was envisioned at the time. A slightly different version of this project was approved by the City of Newport in January of 2023 and we imposed the following condition:

"The property owner shall sign consent to participate in any local improvement districts that the parcels abutting US 101 would be part of once those districts are formed, for the purpose of constructing a separated bicycle lane along US 101 between the Yaquina Bay Bridge and 35th Street. Said consent and agreement shall be a separate document recorded upon the subject lots. The document shall be recorded by the property owner prior to occupancy."

We will be taking the same approach on this request. The developer will be constructing sidewalk along the property's SW 35th Street from the 35th/US 101 intersection west to the end of the property frontage. This may require some coordination with ODOT for any work within the highway right-of-way.

Derrick I. Tokos, AICP

Community Development Director
City of Newport
169 SW Coast Highway
Newport, OR 97365
ph: 541.574.0626 fax: 541.574.0644
d.tokos@newportoregon.gov

From: LINER Duane J <Duane.J.LINER@odot.oregon.gov>
Sent: Tuesday, August 26, 2025 2:23 PM
To: Derrick Tokos <D.Tokos@NewportOregon.gov>
Cc: FELDMANN James <James.FELDMANN@odot.oregon.gov>
Subject: RE: Newport File No. 2-CUP-25 ODOT US101 Hwy009 MP 142.25 Vic

Derrick,

Thank you.

Down from 3 approaches on the highway to one. Nice.

They will need to submit applications to ODOT for:

- the new approach
- landscaping (assuming they will be landscaping where they are removing the pavement)
- (maybe more, when staff review the actual highway frontage plans maybe other permits needed.)

Will the City require sidewalk to be placed as a separated sidewalk?

Does SBL4 – separated bicycle facility – apply to this development? If so, what do you envision?

I will be out on vacation starting this afternoon – back 9/4/25. I will not route plans at this time. Will await your responses to questions if City will require separated sidewalk, or if will require anything in terms of a separated bicycle facility. I think that my comments I provided this morning are general enough for this notice.

Regarding Toyota's wanting to discuss whether or not ODOT will allow them to park in the paved areas between the US 101 sidewalk and right-of-way line during the course of construction, if and when they reach out that will be a District Manager call.

Thank you

- duane

From: Derrick Tokos <D.Tokos@NewportOregon.gov>
Sent: Tuesday, August 26, 2025 9:50 AM
To: LINER Duane J <Duane.J.LINER@odot.oregon.gov>
Subject: RE: Newport File No. 2-CUP-25 ODOT US101 Hwy009 MP 142.25 Vic

This message was sent from outside the organization. Treat attachments, links and requests with caution. Be conscious of the information you share if you respond.
Hi Duane... thanks for the comments. Here is a drop box link to the civil drawings: <https://www.dropbox.com/sc/fi/6eksgs4g85b5qgk7lezu4/Toyota-of-Newport-Civil-07-11-2025.pdf?rlkey=fngslrspybarfkhm03l51dq0d&st=obkextzr&dl=0>

Toyota’s project manager, Chip Edwards, might reach out to you to discuss whether or not ODOT will allow them to park in the paved areas between the US 101 sidewalk and right-of-way line during the course of construction. They will be tight on space. These areas will be landscaped when it is all said and done.

Derrick I. Tokos, AICP
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From: LINER Duane J <Duane.J.LINER@odot.oregon.gov>
Sent: Tuesday, August 26, 2025 8:07 AM
To: Derrick Tokos <D.Tokos@NewportOregon.gov>
Cc: WAHL Carla S <Carla.S.WAHL@odot.oregon.gov>; FIRESTONE James C <James.C.FIRESTONE@odot.oregon.gov>; KNECHT Casey <Casey.KNECHT@odot.oregon.gov>; MOREY Brian T <Brian.T.MOREY@odot.oregon.gov>; FELDMANN James <James.FELDMANN@odot.oregon.gov>; LARWOOD Calvin R <Calvin.R.LARWOOD@odot.oregon.gov>
Subject: Newport File No. 2-CUP-25 ODOT US101 Hwy009 MP 142.25 Vic

Derrick,

Thank you for the notice of a Conditional Use Permit request – 2-CUP-25 – to construct a 23,909 sq ft Toyota dealership.

3234 S. Coast Hwy Tax Lots 2000, 2100, & 2200

In 2023, ODOT received plans for frontage improvements associated with a proposed new Toyota dealership on this site. Plans included consolidating connections (driveways) to the highway and constructing a separated sidewalk. In 2024 the applicant informed ODOT of their plans not to complete the improvements at that time. Any permits or plans from that time are null and void.

No proposed site plan was included with this notice.

- Please find my comments below:
- No dealership or customer parking of vehicles, displaying of vehicles, or advertising should occur in highway right of way. Recommend if possible that any city approval include a condition that the applicant is: not to park dealership or customer vehicles within highway right of way, not to display vehicles within highway right of way, and not to advertise within highway right of way.
 - Any proposal by the applicant, or requirement by the city, for work in highway right of way will require the applicant to contact ODOT’s District 4 Permits Office (541 757 4211) to determine permit requirements
 - Any proposal by the applicant, or requirement by the city, for highway frontage improvements should take into consideration project SBL4 from the Newport Transportation System Plan.

SBL4	US 101 (from Yaquina Bay Bridge to SE 35th Street)	State	City/State Funds	\$925,000	High	1,2,3,4,6	Financially Constrained	Tier 1	South
	Construct a separated bicycle facility on US 101. Note the specified facility design and project extents are subject to review and modification.								

Thank you

- duane

Duane James Liner, P.E.
Development Review Coordinator
ODOT - Region 2
541-757-4140



From: Sherri Marineau <S.Marineau@NewportOregon.gov>

Sent: Monday, August 25, 2025 9:55 AM

To: ODOT Reg 2 Planning Manager <ODOTR2PLANMGR@odot.oregon.gov>; ESTES Brett * DLCD <Brett.Estes@dlcd.oregon.gov>

Subject: DRS_Proctor

This message was sent from outside the organization. Treat attachments, links and requests with caution. Be conscious of the information you share if you respond.

Attached is a notice concerning a land use request. The notice contains an explanation of the request, a property description and map, and a date for the public hearing. Please review this information to see if you would like to make any comments. We must receive comments prior to the last day of the comment period in order for them to be considered. **Should no response be received, a "no comment" will be assumed.**

Sherri Marineau
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CITY HALL HOURS: Monday – Thursday 8:00am-6:00pm, CLOSED on FRIDAYS

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